



**City of Loxley Planning Commission Regular Meeting
Thursday, May 28, 2026
5:30 PM**

Call to Order

Approval of Minutes: April 23, 2026 Meeting

New Business:

Item 1. Consideration of Minutes of April 23, 2026, Planning Commission Meeting.

Item 2. **SP26-4** – Estes Express Trucking terminal expansion – Site Plan

Description: The applicant seeks site plan approval for expansion of warehouse facility, installation of vehicle maintenance shop and expansion off street parking.

General Location: The subject property is located at 31081 County Rd 49. Approximately 470 feet north on Industrial Park Blvd on the east side of County Rd. 49. (PIN 247712)

- >Staff Report
- >Applicant Report
- >Planning Commission Comments & Discussion
- >Action by Planning Commission

Item 3. **PL26-9** – Azalea Gardens Phase 3 – Preliminary Plat

Public Hearing Required

Description: The applicant seeks Preliminary Plat approval for 62 Lot Subdivision on 38.58 acres.

General Location: The subject property is located on the east side of N Holley St. approximately 0.25 miles south of County Rd. 68. (PIN 62195)

- >Staff Report
- >Applicant Report
- >Public Comments
- >Planning Commission Comments & Discussion
- >Close Public Comments
- >Action by Planning Commission

Item 3.

PL26-10 – Haddon Lake Phase 1 – Final Plat

Description: The applicant seeks Final Plat approval for 31 Lot Subdivision on 16.4 acres.

General Location: The subject property is located on the south side of Bedrock Blvd. between Ibis Blvd. and Cecil Rd. (PIN – 617677)

>Staff Report

>Applicant Report

>Planning Commission Comments & Discussion

>Action by Planning Commission

Old Business:

None

Other Business:

Adjourn

MINUTES OF
THE PLANNING COMMISSION
CITY OF LOXLEY
April 23, 2026

The Planning Commission of the City of Loxley convened in Regular Session at City Hall on the 23rd day of April 2026 at 5:30 P.M. The meeting was called to order by Chairman Kenny Folsom.

Members present were Kenny Folsom, Chris McCall, George Trent, Pam Knight, and Beth Lovell. Members absent were Jimmy Canaan and Randy Smith. Also present were Greg Smith, City Engineer and Director of Community Development; Kate Whalley, Secretary; and Ellen Williams, City Attorney.

The Chairman stated that a quorum of members was present and that the meeting was open for the transaction of business.

Item 1. Consideration of Minutes of the February 26, 2026 Planning Commission Meeting

George Trent made a motion to approve the minutes as presented. Pam Knight seconded the motion, and it passed unanimously.

Item 2. PL26-7 – Re-subdivision of Lot 1 Loxley Logistics Center – Preliminary/Final Plat

Description: The applicant seeks Preliminary and Final Plat approval for an 8-lot subdivision on approximately 139.41 acres.

Location: Southeast corner of County Road 49 and Truck Route 17

Parcel Identification Numbers (PINs): 307180, 307181, 752256, 286248

Greg Smith presented the staff report, explaining that the request is a re-subdivision of the remaining portion of Lot 1 following a prior exemption. The proposal consists of eight large industrial lots with shared access from a private internal road.

Staff noted several required conditions including construction of the internal road prior to final plat recording, identification and buffering of jurisdictional wetlands, provision of topographic information, configuration of the road to avoid a dead end or include a cul-de-sac, approval of a road name, and inclusion of required notes related to truck access and stormwater management.

The applicant confirmed agreement with the staff comments and ongoing coordination regarding roadway configuration and wetlands.

The Chairman opened the public hearing. With no public comments, the public hearing was closed.

Following discussion, Chris McCall made a motion to approve the re-subdivision contingent upon compliance with all staff recommendations, including but not limited to construction of the internal road prior to final plat recording, identification and buffering of wetlands, provision of required topographic data, roadway configuration, approval of road naming, inclusion of required notes regarding truck access and stormwater management, and receipt of all required outside agency approvals. Beth Lovell seconded the motion, and it passed without objection.

Item 3. PL26-8 – Riva Ridge Subdivision – Preliminary/Final Plat

Description: The applicant seeks Preliminary/Final Plat approval for a 10-lot subdivision on approximately 30.08 acres.

Location: North side of Mosley Road, approximately 1/4 mile east of Spring Road South
Parcel Identification Number (PIN): 83598

Greg Smith presented the staff report, noting that the subdivision consists of ten lots meeting A-O zoning requirements with direct access to Mosley Road. He further noted the presence of jurisdictional wetlands and natural drainage features on the property, which are required to be preserved within drainage easements.

Staff conditions included revision of setback dimensions to meet ordinance requirements, inclusion of a vicinity map, provision of electrical provider certification, addition of property line dimensions, preservation of natural drainage patterns through easements, and compliance with all applicable outside agency approvals.

The Chairman opened the public hearing.

Public comments were received from nearby property owners expressing concerns regarding drainage and stormwater impacts, wetlands preservation, traffic conditions along Mosley Road, fire protection, and overall development impacts in the area.

The Commission and staff responded that wetlands are regulated by the U.S. Army Corps of Engineers, drainage cannot be altered to negatively impact adjacent properties, and the proposed development is consistent with A-O zoning standards.

The public hearing was closed.

Following discussion, George Trent made a motion to approve the preliminary/final plat contingent upon addressing all comments in the staff report, including preservation of natural drainage ways within drainage easements extending to Mosley Road, correction of setbacks, inclusion of required certifications and mapping elements, and compliance with all applicable outside agency approvals. Beth Lovell seconded the motion, and it passed without objection.

There being no further business to come before the meeting, the same was on motion duly made, seconded, unanimously carried, and regularly adjourned.

Kenny Folsom
Chairman

Kate Whalley
Secretary



TO: Mr. Kenny Folsom, Chairman, and
Members of the Planning Commission

DATE: May 28, 2026

FROM: Gregory B. Smith, PE
City Engineer/Public Works Director

SUBJECT: SP26-000004 – Estes Truck Terminal Expansion – Site Plan

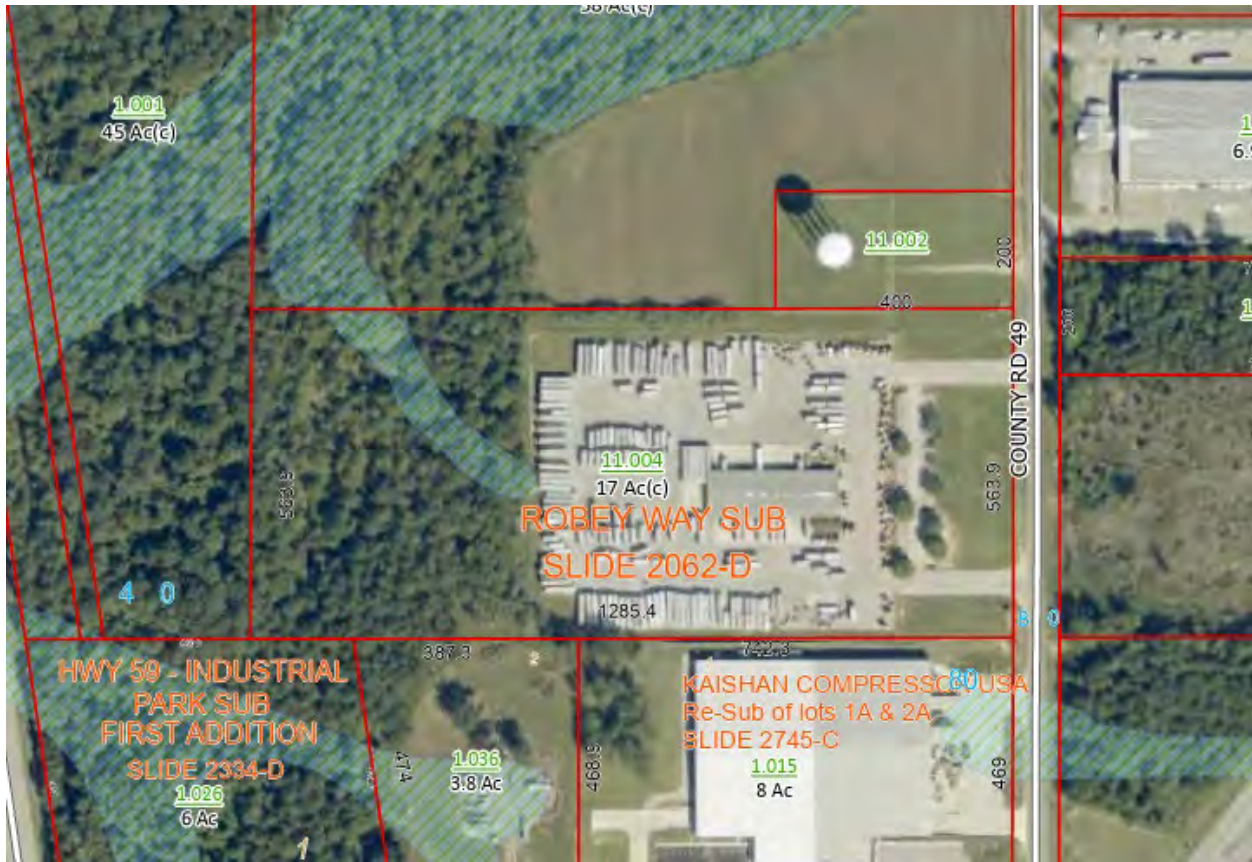
OVERVIEW: Ryan Rice of RTM Engineering Consultants seeks site plan approval for an expansion to the existing Estes Trucking Terminal located at 31081 County Road 49 (PIN 247712). The subject property consists of approximately 16.64± acres located within the City of Loxley. The proposed expansion includes additions to existing truck terminal bldg., new truck shop, additional trailer parking, vehicle circulation improvements, pavement improvements, stormwater infrastructure, and associated site work. The subject application requires Planning Commission review in accordance with the City of Loxley Zoning Ordinance.

OWNER: Black Branch Terminals LLC



SUBJECT PROPERTY





ADJACENT ZONING: The subject property is located within the City of Loxley and is zoned M-1 Light Industrial. Surrounding properties are primarily zoned M-1 Light Industrial with nearby B-1 General Business and A-O Agricultural/Open Space districts. The surrounding area is characterized primarily by industrial and commercial development.

ANALYSIS: The subject property consists of approximately 16.64± acres. The applicant is requesting site plan approval for an expansion to the existing Estes Trucking Terminal facility. Proposed improvements include addition to existing truck terminal bldg., new truck shop, additional truck and trailer storage areas, expanded truck maneuvering areas, pavement improvements, retaining walls, fencing, detention pond, and associated site work.

The subject property is zoned M-1 Light Industrial. Truck terminals, distribution facilities, and similar industrial operations are permitted uses within the M-1 zoning district.

The submitted plans indicate an increase in overall light vehicle (car) parking from 62 to 128 spaces, truck (tractor) parking from 30 to 62 spaces, and trailer (Pup & Van) storage capacity from 94 total spaces to 213 total spaces.

Setbacks: The defined setbacks in the Zoning Ordinance appear to be complied with regarding the proposed expansion and associated site improvements.

Setback requirements for the M-1 Light Industrial District:

Front Yard Setback 75 feet

Rear Yard Setback 35 feet

Exception: Rear Yard may be reduced to fifteen (15) feet if the adjoining property is zoned M-1

Side Yard Setback 35 feet

Exception: If the adjoining property is zoned M-1, interior side yard setbacks may be reduced to zero (0) feet; provided that all portions of the side of the structure are enclosed with an unpierced firewall of four (4) hour fire construction, in accordance with the National Board of Fire Underwriters Code. In addition, if the structure is not built to the side lot line, a minimum setback of at least ten (10) feet shall be maintained.

Maximum Building Area 50%

Maximum Building Height 65 feet

Stormwater Management: The submitted plans include grading, drainage, and stormwater infrastructure improvements associated with the proposed expansion. Stormwater facilities and associated drainage infrastructure are shown on the submitted civil plans.

Landscape Plan and Screening: No landscape plan or screening details were provided at this time. Additional information regarding required landscaping and buffering may be required prior to issuance of any land disturbance or building permits.

Lighting: No lighting plan was provided. Any proposed lighting shall comply with the City of Loxley Zoning Ordinance.

Ingress/Egress: The proposed ingress and egress is shown on the attached plans from County Road 49.

RECOMMENDATION: Staff recommends approval of the subject application contingent upon the following conditions:

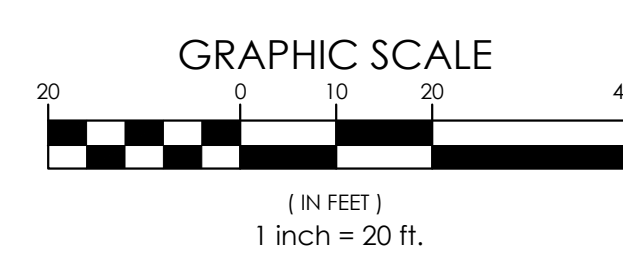
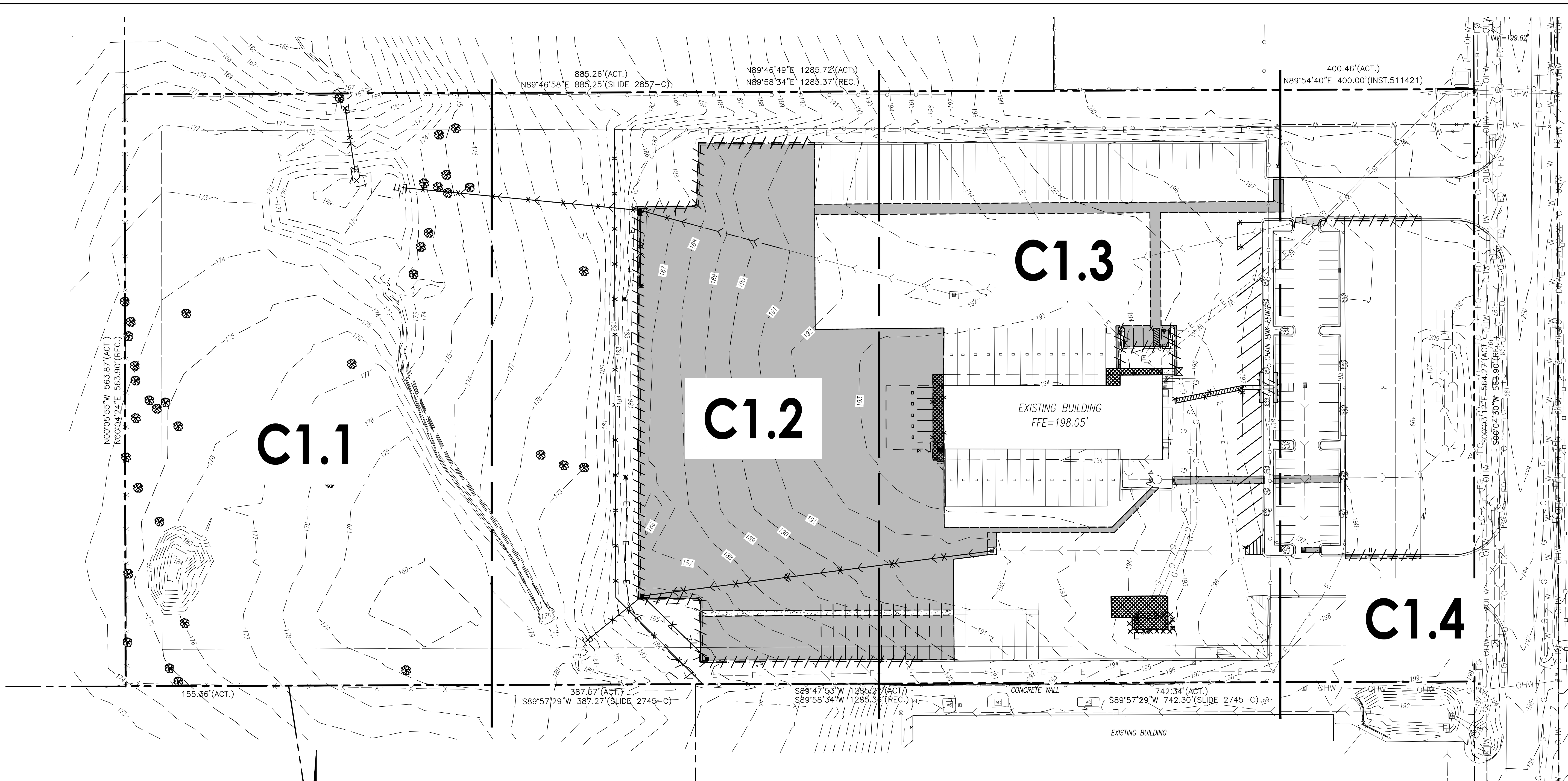
1. On the Geometric Site Plan: Provide dimensions from proposed buildings and paved areas to the property lines.
2. On the Grading Plans: Show the location, size, material or all proposed stormwater pipes.
3. Provide Landscaping Plan in accordance with Loxley Zoning Ordinance.
4. Due to the nature of this business, and the amount of proposed expansion, it is recommended that left-turn lane be provided on Co. Rd. 49 for both entrances. This turn-lane would begin at the north end of the left-turn lane for ALDI at Industrial Park Dr.

5. Submit a Traffic Impact Study. A traffic study for all commercial, industrial and residential developments shall be required and shall be conducted by a Professional Engineer Licensed in the State of Alabama. This study should include the intersection at Co. Rd. 49 & Industrial Park Dr, the intersection of Industrial Park Dr. & St. Hwy 59, and the intersection of Co. Rd. 49 & St. Hwy 59. If improvements are warranted, these intersection improvements must be provided prior to a C.O. being issued for this expansion.
6. The B.C. Map Viewer indicates that there are “Potential Wetlands” on the portion of property proposed for development. Provide Wetland Delineation and show location of all Jurisdictional Wetlands on the property. If there are wetlands that are proposed to be impacted, a copy of the Wetlands Permit from USCOE must be provided prior to Land Disturbance Permit being issued.
7. All required outside agency approvals (e.g., ALDOT, ADEM, USACE, etc.) shall be obtained, prior to building/land disturbance permitting.
8. The applicant shall comply with all applicable City of Loxley regulations upon any future development of the subject property.

Staff Recommends that this Site Plan be tabled until Landscape Plan and Traffic Impact Study can be provided.

Attachments:

Users: rberlegrande File: \\ucodlink\coe1\CV\01\Proj\13121_4918\CorneStone Estes Loxley, AL\03.DWG\03 SHEET SET\Demolition_Estes Loxley.dwg Time: Apr 24, 2026 - 4:40pm



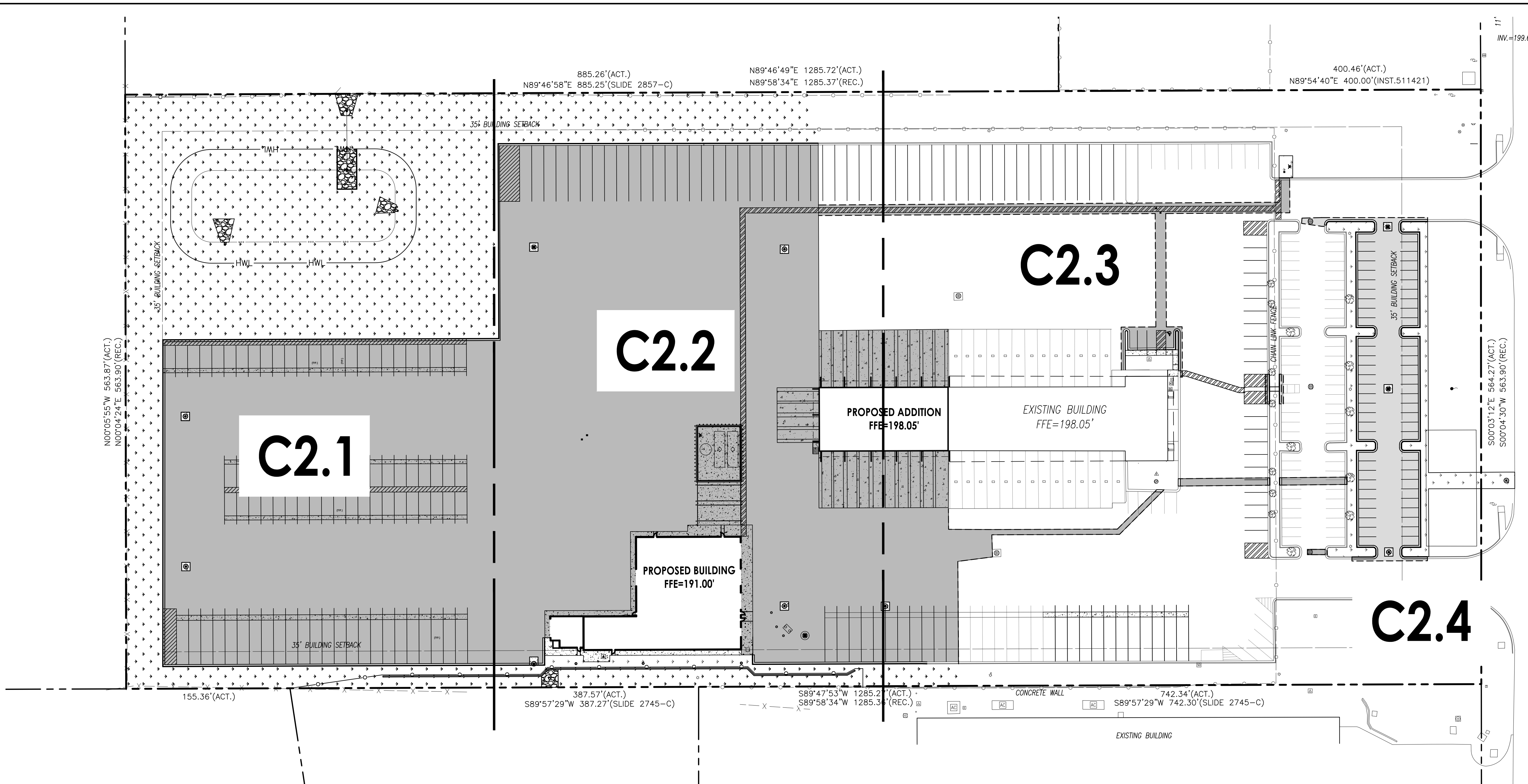
LEGEND:

	SAWCUT LINE		EXISTING BUILDING / FOUNDATION REMOVAL		FULL-DEPTH ASPHALT PAVEMENT REMOVAL
	LINEAR ITEM REMOVAL		FULL-DEPTH CONCRETE PAVEMENT/SIDEWALK REMOVAL		
	ITEM REMOVAL				
	LINEAR CURB REMOVAL				

PROJECT NAME ESTES LOXLEY - TERMINAL EXPANSION	PROJECT No. 13121.4918C	SHEET No. C-1.0	SHEET NAME OVERALL DEMOLITION PLAN		No. 04/24/2026 DATE DESCRIPTION SUBMITTAL TO CITY	No. 04/24/2026 DATE DESCRIPTION SUBMITTAL TO CITY
					PROJECT No. SHEET No. C-1.0 OF 30 SHEETS	PROJECT No. SHEET No. 13121.4918C SHEET No.

PROJECT NAME: ESTES LOXLEY - TERMINAL EXPANSION
 PROJECT No.: 13121.4918C
 SHEET No.: C-1.0 OF 30 SHEETS
 SHEET NAME: OVERALL DEMOLITION PLAN
 LOCATION: 31081 COUNTY ROAD 49, LOXLEY, AL
 Design Firm: rtm engineering consultants
 1933 N. Meacham Road, Suite 700, Schaumburg, IL 60193
 Telephone: (630) 756-4180, www.rtm.com

User: robert.lagonda File: \\usdlink\cde\1\c\01\Proj\13121_4918\Comestone Estes Loxley - AL\03 DWG\02 SHEET SET\Site Plan_Estes Loxley.dwg Time: Apr 24, 2024 - 4:40pm



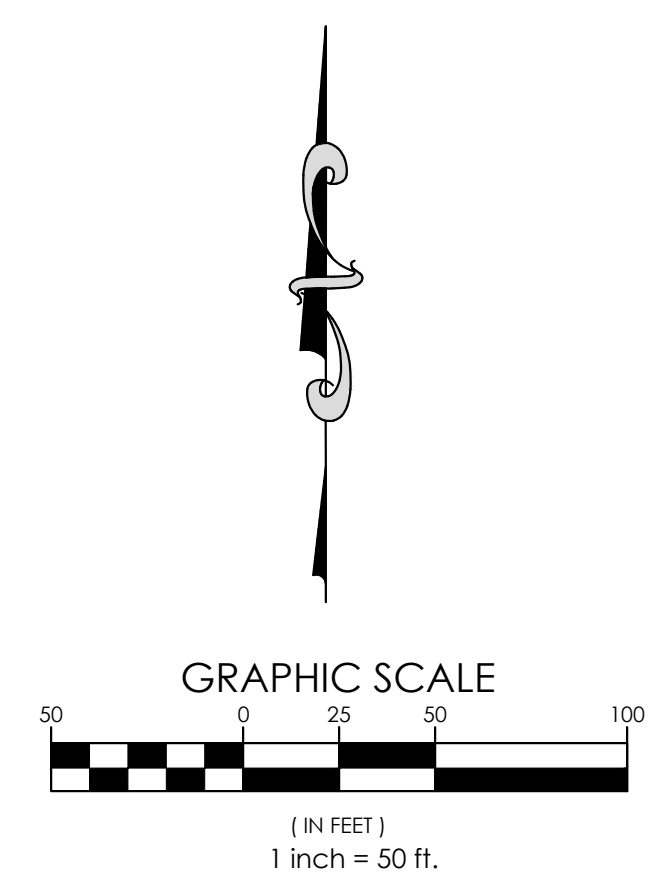
- NOTES:**
- ALL DIMENSIONS ALONG CURB LINES ARE TO FACE OF CURB, UNLESS NOTED OTHERWISE.
 - BUILDINGS AND ADJACENT TO BUILDING IMPROVEMENTS SHOWN ON THESE PLANS ARE BASED UPON THE BUILDING PLANS PROVIDED BY OTHERS AT THE DATE OF THESE PLANS BEING PREPARED. BUILDING PLANS NORMALLY CONTINUE TO CHANGE AFTER SITE PLANS HAVE BEEN APPROVED. THEREFORE THE CONTRACTOR SHALL USE THE BUILDING PLANS FOR FINAL BUILDING IMPROVEMENTS, AND VERIFY THAT ALL ADJACENT IMPROVEMENTS ARE CONSISTENT WITH THE DESIGN INTENT AND REQUIREMENTS OF THE SITE PLANS. THE CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY IF CLARIFICATION IS NEEDED, OR IF CONFLICTS OR INCONSISTENCIES EXIST.
 - ADA DETECTIBLE WARNING STRIPS SHALL BE CAST IRON TILES, WET SET INTO CONCRETE SURFACE, PER MANUFACTURER'S INSTALLATION RECOMMENDATIONS.
 - TOPOGRAPHIC AND BOUNDARY SURVEY PREPARED BY SAWGRASS CONSULTING, LLC.

(X) PARKING SUMMARY

	EXISTING	PROPOSED
CAR SPACES (9'x18')	62	66
TRACTOR SPACES (12'x22')	30	32
PUP SPACES (11.5'x30')	0	65
VAN SPACES (11.5'x53')	94	119
TOTAL STALL COUNT	186	282

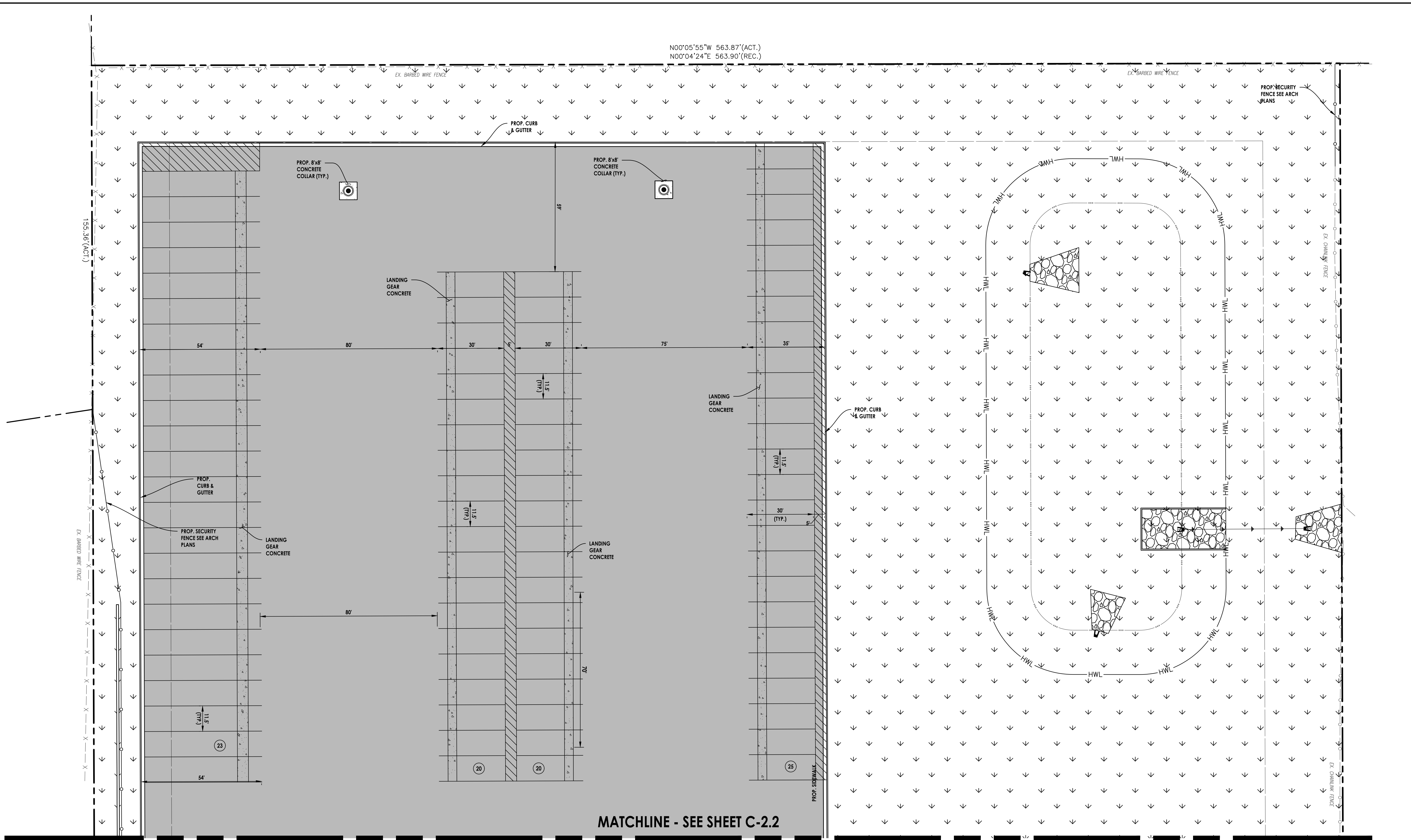
- LEGEND:**
- ADA TRUNCATED DOMES
 - EXISTING BARRIER CURB
 - EXISTING CURB AND GUTTER
 - EXISTING CURB AND GUTTER - DEPRESSED
 - B6.12 CURB AND GUTTER UNLESS NOTED OTHERWISE
 - B6.12 CURB AND GUTTER - DEPRESSED
 - B6.12 CURB AND GUTTER - TRANSITION (ZERO TO FULL HEIGHT)
 - BARRIER CURB UNLESS NOTED OTHERWISE
 - BARRIER CURB - DEPRESSED
 - B6.12 CURB - TRANSITION (ZERO TO FULL HEIGHT)
 - SAWCUT LINE
 - PROPOSED FULL-DEPTH REGULAR ASPHALT PAVEMENT. SEE DETAIL ON SHEET C6.2
 - PROPOSED FULL-DEPTH HEAVY-DUTY ASPHALT PAVEMENT. SEE DETAIL ON SHEET C6.2
 - PROPOSED CONCRETE PAVEMENT. SEE DETAIL ON SHEET C6.2
 - LANDSCAPE AREA

- (X) SIGNING AND STRIPING SCHEDULE**
- A. 4" YELLOW STRIPING
 - B. YELLOW HANDICAP PARKING STRIPING (SEE DETAIL)
 - C. "ACCESSIBLE" PARKING STALL SIGN ASSEMBLY (SXXX FINE)
 - D. "STOP" SIGN R1-1 (30"X30")
 - E. 24" WHITE THERMOPLASTIC STOP BAR
 - F. 4" PAINTED CROSS STRIPING 4' C-C
 - G. DIRECTIONAL ARROW
 - H. RIGHT TURN ONLY R3-5 (24"X30")
 - I. THERMOPLASTIC RIGHT TURN ONLY STRIPING
 - J. 4" YELLOW LINES, 5.5' C-C SKIP-DASH AND SOLID
 - K. 6" SOLID WHITE THERMOPLASTIC
 - L. "NO LEFT TURN" SIGN (30"X30")
 - M. 6" WHITE THERMOPLASTIC 6' SKIP 2' DASH
- STRIPING NOTE: ON-SITE PAVEMENT MARKINGS AND GRAPHICS SHALL CONSIST OF TWO (2) COATS OF TRAFFIC-RATED PAINT APPLIED A MINIMUM OF 30 DAYS APART. STRIPING AND GRAPHICS AT ENTRY DRIVES SHALL BE THERMOPLASTIC AS NOTED. MATERIALS SHALL MEET DEPARTMENT OF TRANSPORTATION STANDARDS.



PROJECT NAME ESTES LOXLEY - TERMINAL EXPANSION	PROJECT No. 13121.4918C	SHEET No. C-2.0	OF 30 SHEETS	SHEET NAME OVERALL SITE GEOMETRIC PLAN		1933 N. Meacham Road Suite 700 Schaumburg, IL 60193 Telephone: (630) 756-4180 www.rtm.com	IL Design Firm: 18-066777-0002
						No. DATE DESCRIPTION SUBMITAL TO CITY	No. DATE DESCRIPTION

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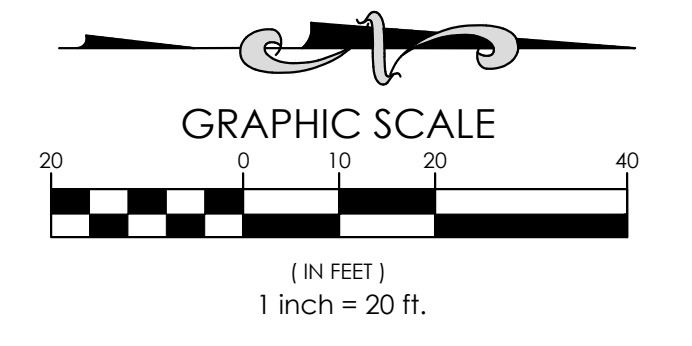
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 - SAWCUT LINE

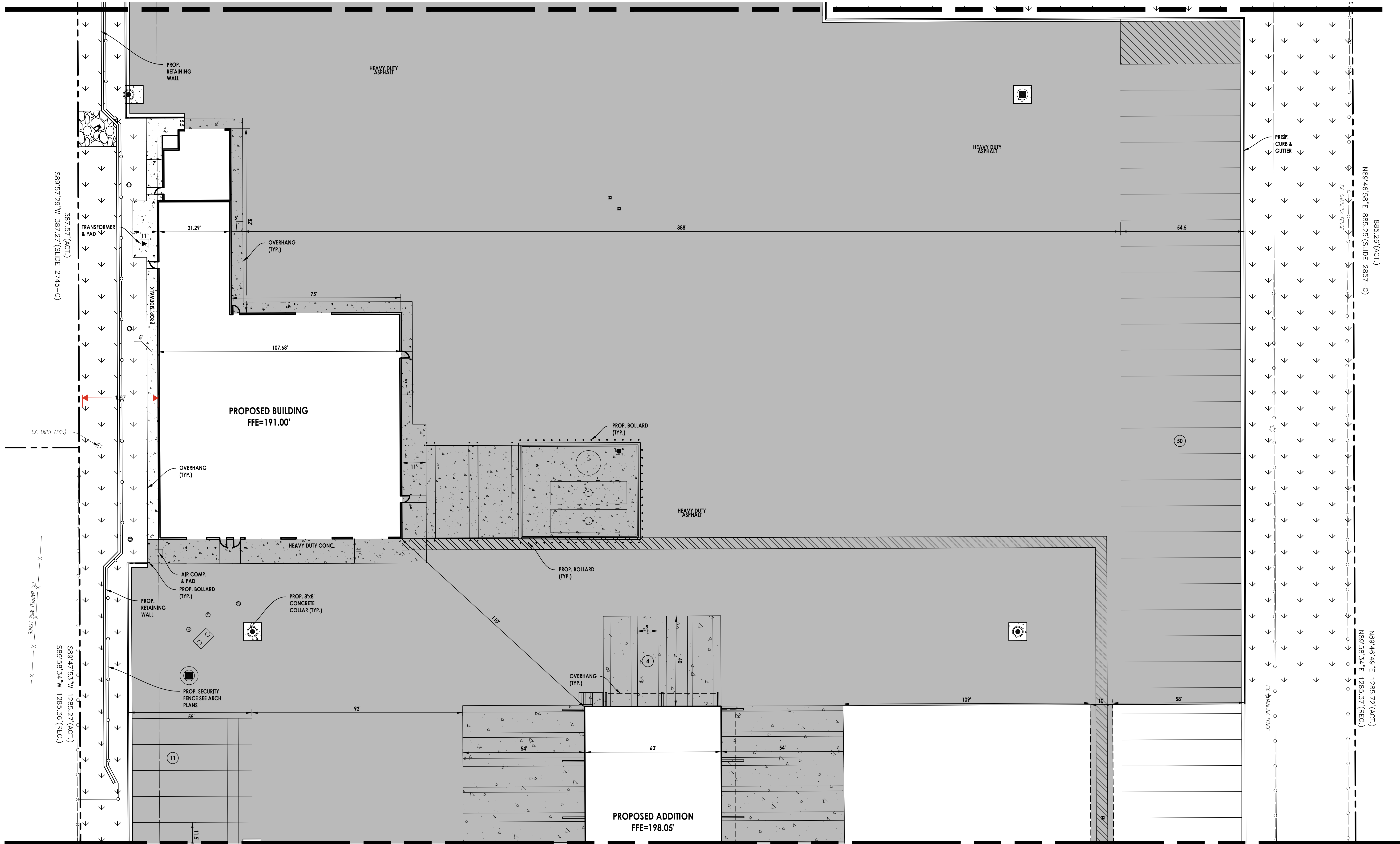
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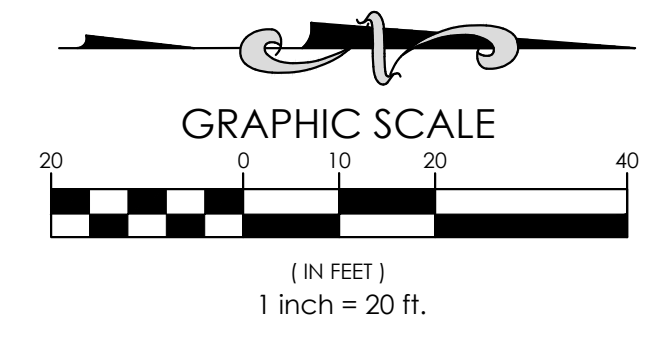
	1933 N. Meacham Road Suite 700 Schaumburg, IL 60193 Telephone: (630) 756-4180 www.rtmcc.com IL Design Firm: 18J-066777-0002	No. DATE DESCRIPTION SUBMITTAL TO CITY --- 04/24/2025 ---	No. DATE DESCRIPTION --- --- ---	No. DATE DESCRIPTION --- --- ---
SHEET NAME SITE GEOMETRIC PLAN	PROJECT NAME ESTES LOXLEY - TERMINAL EXPANSION	PROJECT NO. 13121.4918C	SHEET NO. C-2.1	OF 30 SHEETS
31081 COUNTY ROAD 49 LOXLEY, AL				

MATCHLINE - SEE SHEET C-2.1



**SEE NOTES AND LEGEND ON SHEET C-2.0

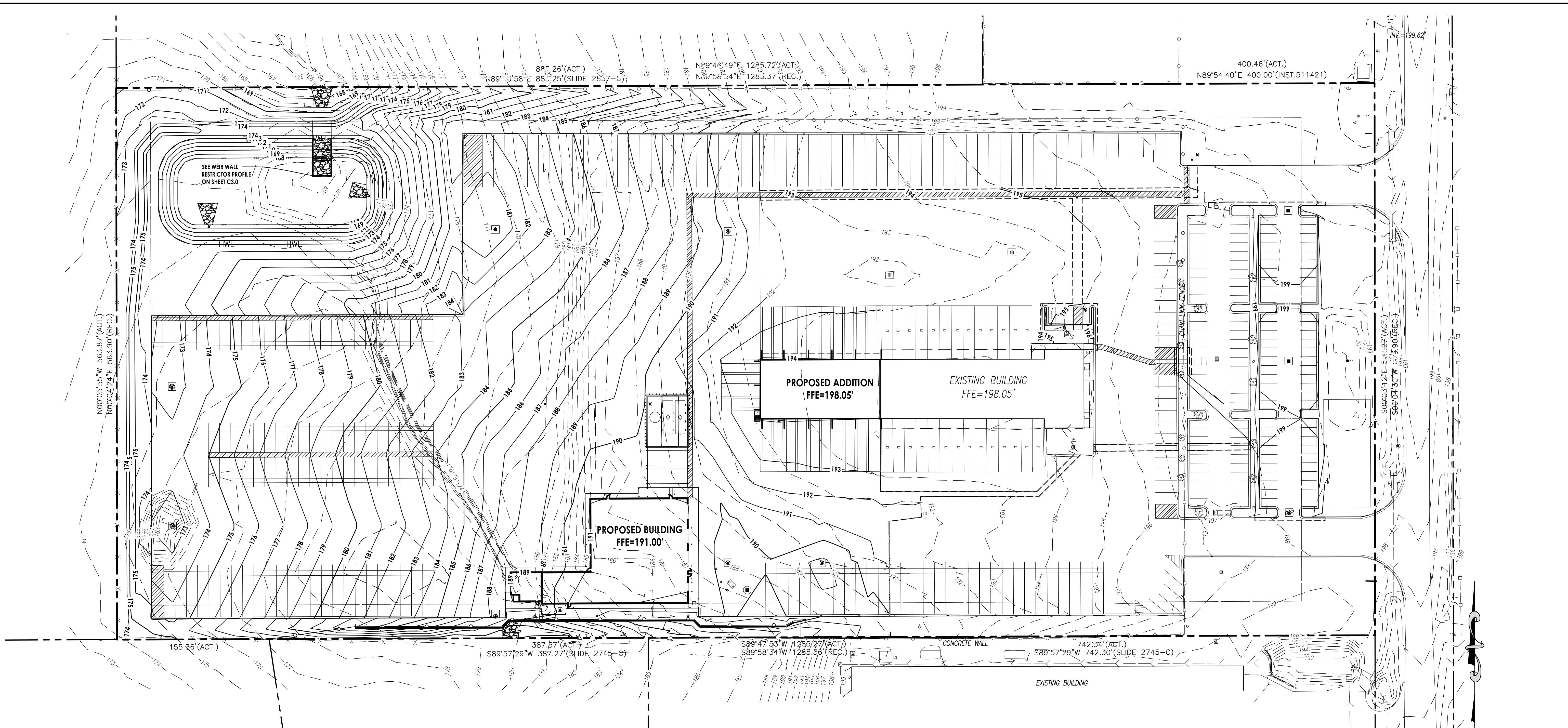
MATCHLINE - SEE SHEET C-2.3



PROJECT NAME ESTES LOXLEY - TERMINAL EXPANSION		PROJECT No. 13121.4918C	
SHEET NAME SITE GEOMETRIC PLAN		SHEET No. C-2.2	
PROJECT LOCATION 31081 COUNTY ROAD 49 LOXLEY, AL		OF 30 SHEETS	
DATE 04/24/2025	DESCRIPTION SUBMITTAL TO CITY	NO.	DESCRIPTION
DATE	DESCRIPTION	NO.	DESCRIPTION
DATE	DESCRIPTION	NO.	DESCRIPTION
1933 N. Meacham Road Suite 700 Schaumburg, IL 60193 Telephone: (630) 756-4180 www.artm.com IL Design Firm: 18,066777-0002			

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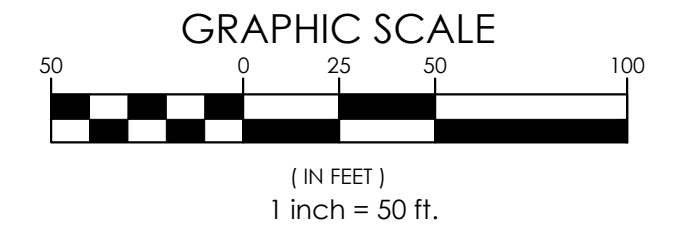
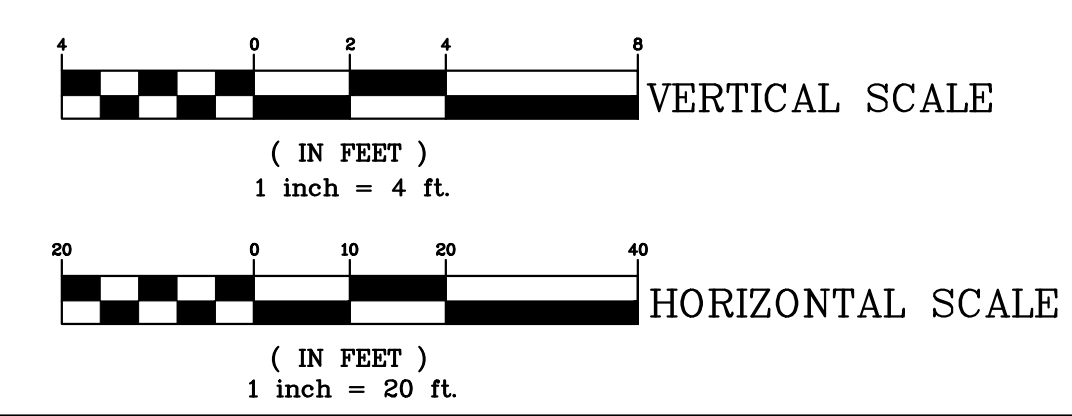
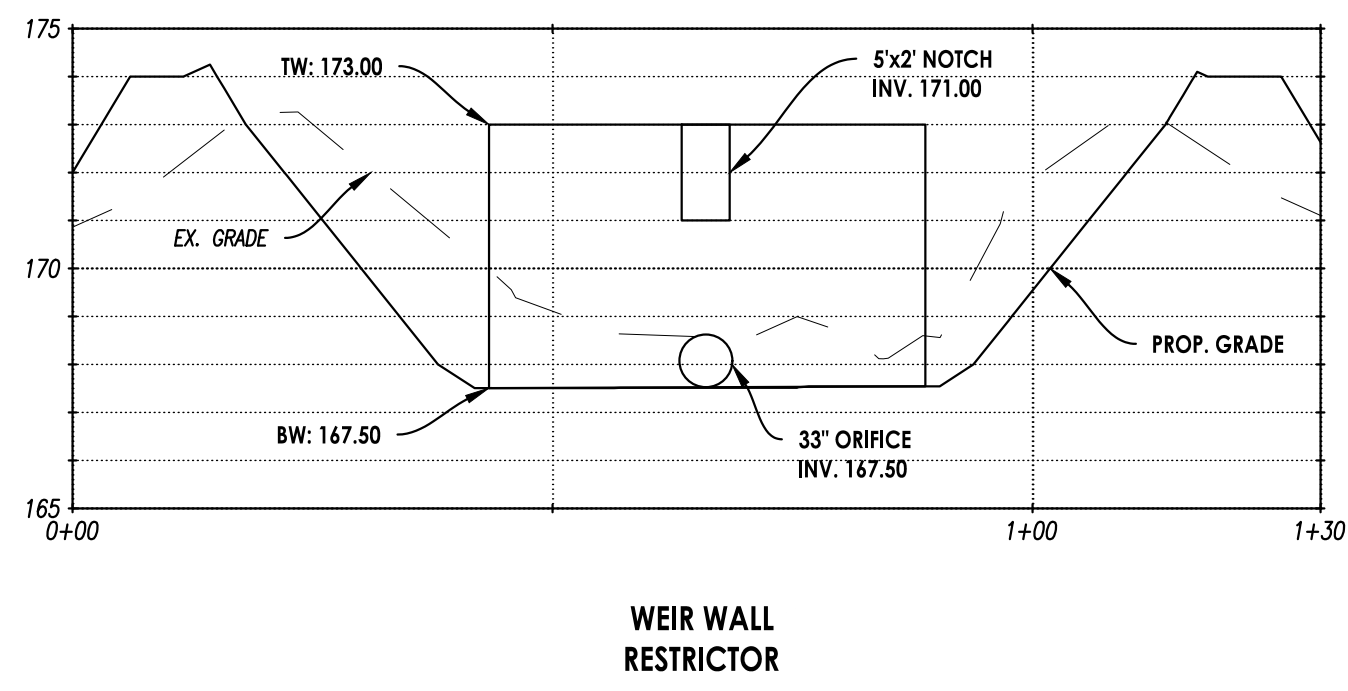
User: robert.lagardes File: \\usdibk\csc\1\c\1\01\Proj\13121_4918\Comestone Estes Loxley - AL\03 DWG\02 SHEET SET\Grading\Estes Loxley.dwg Time: Apr 24, 2024 - 4:41pm



- NOTES:**
- PROPOSED ELEVATIONS SHOWN ON PROPOSED CURB LINES ARE FLOW LINE ELEVATIONS UNLESS NOTED OTHERWISE. ADD 0.50' TO OBTAIN TOP OF CURB ELEVATIONS.
 - A CONSTANT SLOPE SHALL BE MAINTAINED BETWEEN SPOT GRADES.
 - 2% MINIMUM SLOPE AND 3:1 MAXIMUM SLOPE IN TURF AREAS AND 1% MINIMUM SLOPE AND 5% MAXIMUM SLOPE IN PAVED AREAS.
 - RIM GRADES ALONG CURBS ARE FLOW LINE ELEVATIONS.
 - TOPOGRAPHIC AND BOUNDARY SURVEY PREPARED BY xxxxxxxxxxxxxxxxxxxx

LEGEND:

	EXISTING		PROPOSED
1 FOOT CONTOUR			
5 FOOT CONTOUR			
GRADE			
RIDGE LINE			
TOP OF CURB	C:XX.XX		
TOP OF WALK	W:XX.XX		
TOP OF PAVEMENT	P:XX.XX		
FLOW LINE @ DEPRESSED CURB	D:XX.XX		
FLOW LINE	F:XX.XX		
EDGE OF PAVEMENT	E:XX.XX		
FINISHED GROUND	G:XX.XX		
RIM GRADE	R:XX.XX		
MATCH EXISTING	ME:XX.XX		
FINISHED FLOOR	FF:XX.XX		
FLOW ARROW			
OVERFLOW			



PROJECT NAME ESTES LOXLEY - TERMINAL EXPANSION	PROJECT No. 13121.4918C	SHEET No. C-3.0	SHEET NAME OVERALL GRADING PLAN	No. DATE DESCRIPTION 04/24/2025 SUBMITTAL TO CITY	No. DATE DESCRIPTION
31081 COUNTY ROAD 49 LOXLEY, AL					
1933 N. Meacham Road Suite 200 Schaumburg, IL 60193 Telephone: (630) 756-4180 www.rtm.com			IL Design Firm: 18,068777-0002		



TO: Mr. Kenny Folsom, Chairman and
Members of the Planning Commission

DATE: May 28, 2026

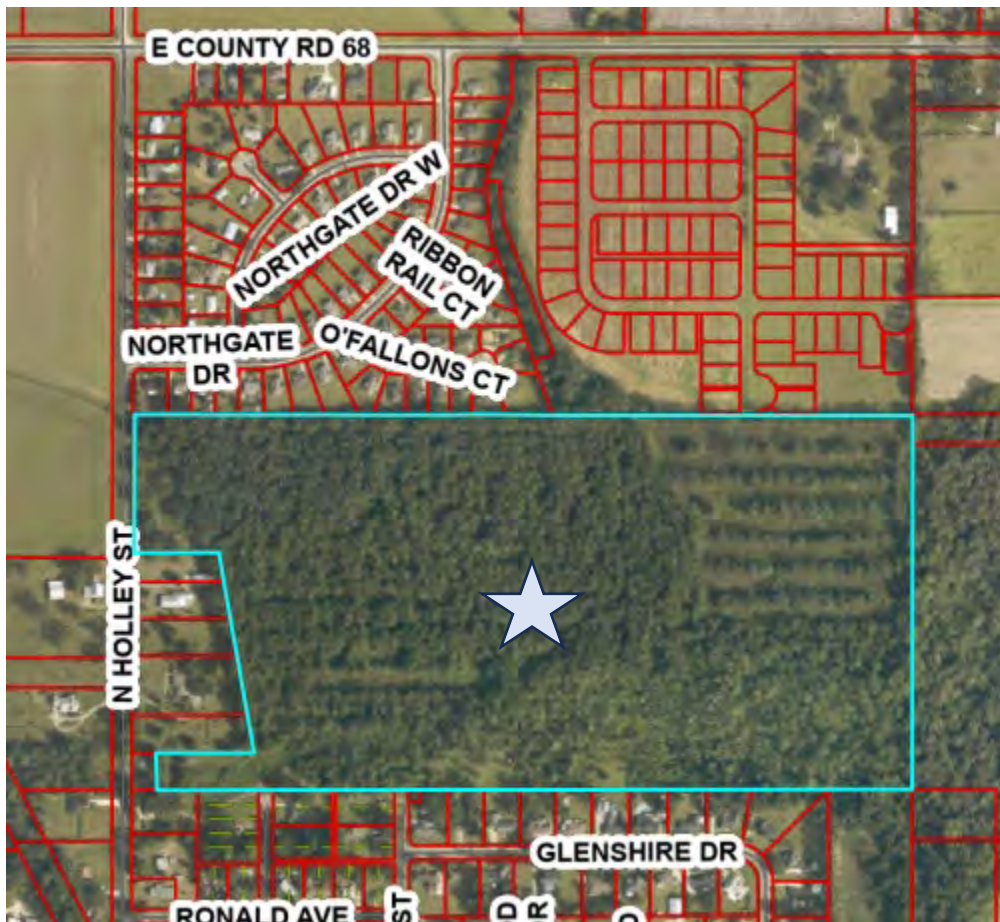
FROM: Gregory B. Smith, PE
Community Development Dir/City Engineer

REPORT DATE: 05-22-2026

SUBJECT: PL26-000009 – Azalea Gardens PH 3 – Preliminary Plat

OVERVIEW: Larry Smith of SE Civil Engineering seeks Preliminary Plat approval for 62 Lot on 38.58+/-acres. The subject property is located on the east side of N. Holley St. approximately 0.25 miles south of County Rd. 68. (PIN 62195). A public hearing is required; appropriate notice has been given.

★ SUBJECT PROPERTY:



ZONING: The property is zoned R-1B Residential Single Family. The R-1B district requires a minimum lot area of 9,500 square feet, minimum lot width of 75 feet, minimum front and rear setbacks of 30 feet, minimum side setbacks of 10 feet, maximum building coverage of 40%, and maximum building height of 35 feet. These proposed lots are a min. of 9,900 SF and min. width is 75 feet.

The surrounding area is primarily residential in character and includes a mixture of existing residential subdivisions and undeveloped property. The proposed development pattern appears generally compatible with surrounding residential uses and zoning classifications.

The subject property is located within the City of Loxley and is zoned R-1B (Residential Single Family). Surrounding properties are zoned a mix of R-1A, R-1B, and A-O. A small portion of the northwest corner of the subject property also borders approximately 60± feet of Baldwin County jurisdiction, which is zoned RSF-1 (Residential Single Family).

ANALYSIS: The subject property consists of approximately 38.58± acres located within the City of Loxley. The applicant is requesting Preliminary Plat approval for Azalea Gardens Phase 3 consisting of 62 single-family residential lots, associated rights-of-way, drainage facilities, and common areas. The smallest proposed lot is approximately 9,900 square feet and the largest proposed lot is approximately 18,737 square feet. The proposed subdivision layout includes internal public streets identified as Blooming Lane and Mandarin Lane with connectivity to the previously approved phases of Azalea Gardens and access to N. Holley Street.

The submitted preliminary plat includes lot layouts, roadway connections, drainage infrastructure, utility easements, wetlands, and proposed open space areas generally consistent with the submittal requirements of the City of Loxley Subdivision Regulations.

Stormwater: The applicant also submitted a drainage report addressing stormwater management for the proposed development. Storm drainage infrastructure and detention areas are proposed to accommodate runoff associated with the subdivision in accordance with the Subdivision Regulations regarding storm drainage and erosion control.

Wetlands: A wetland delineation report prepared by UES dated January 2026 identified approximately 13.53± acres of wetlands and approximately 0.52± acres of ditch areas on the parent tract. The report notes that impacts to jurisdictional wetlands may require permitting through the U.S. Army Corps of Engineers. A 25-foot wetland buffer is reflected on the submitted plans. The only impacts will be for the ditch relocation in C.A. 1 and the road crossing for Mandarin Dr.

Flood Zone: As discussed during the review of the Annexation/Zoning review, the applicant conducted a flood study to accurately determine the extents of the 100-year Floodplain along the south side of this property. This Flood Plan is shown on the Preliminary Plat for this development. There are no Lots or other proposed improvements that are within the boundary of this 100-year floodplain.

Landscaping: Landscape plans submitted with the application indicate proposed street tree plantings and landscaped common areas throughout the development. Proposed plant materials include Live Oaks, Bald Cypress, Nuttall Oaks, and Crape Myrtles.

Sidewalks: Sidewalks are required on both sides of local streets in accordance with Section 5.2(E)(16) of the Subdivision Regulations and will be required prior to final plat approval or bonded as allowed by the regulations.

Traffic: Traffic Impact Study was provided by the applicant. The intersections of N. Holley/B Ave, N. Holley at Subd. Entrance and N. Holley St at CR 68 were analyzed. Based on findings of Traffic Impact Study, this development does not warrant improvements to any of these intersections studied:

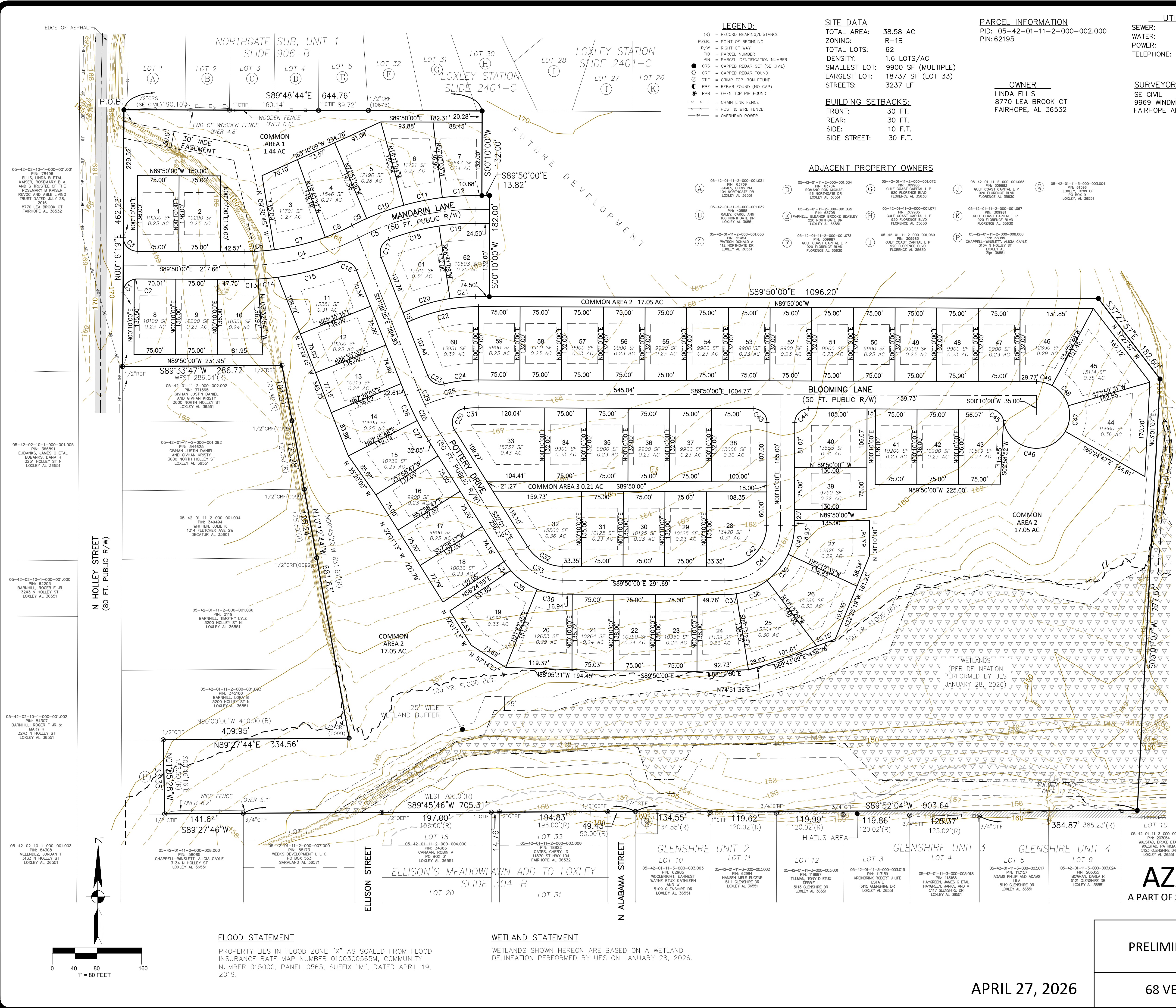
Based on the submitted materials, the proposed Preliminary Plat appears to generally comply with the City of Loxley Subdivision Regulations subject to all comments from staff, the City Engineer, utility providers, and outside reviewing agencies.

Comments: Upon review the following items must be addressed.

1. Revise Sign Details to meet current Loxley Standards for Decorative Signs. It is recommended that the posted speed limit be 15 MPH instead of 20 MPH.
2. Provide ADA Compliant HC Parking space at Mail Kiosk Parking area.
3. Specify that the 30' Wide Easement in C.A. 1 is "Drainage". Also, the easement must be revised to follow the shape of the relocated ditch being constructed.
4. Provide drain from stilling basins so that these don't hold water for extended periods of time and become a nuisance.
5. All required outside agency approvals (e.g., Baldwin County, ALDOT, ADEM, USACE, etc.) shall be obtained, in the event the property is developed. Provide USACE Authorization for disturbance of ditches proposed to be disturbed that are identified in the Wetland Delineation Report.
6. The applicant shall comply with all applicable City of Loxley regulations upon any future development of the subject property.

Staff Recommends that this Preliminary Plat application be approved subject to the items listed above and any other conditions required by the Planning Commission be met prior to issuance of Land Disturbance Permit.

Attachments



LEGEND:
 (R) = RECORD BEARING/DISTANCE
 P.O.B. = POINT OF BEGINNING
 R/W = RIGHT OF WAY
 PD = PARCEL NUMBER
 PIN = PARCEL IDENTIFICATION NUMBER
 ● = CRIS
 ○ = CRIMP REBAR FOUND
 ○ = CRIMP TOP IRON FOUND
 ○ = REBAR FOUND (NO CAP)
 ○ = OPEN TOP IRON FOUND
 ○ = RIBS
 --- = CHAIN LINK FENCE
 --- = POST & WIRE FENCE
 --- = OVERHEAD POWER

SITE DATA
 TOTAL AREA: 38.58 AC
 ZONING: R-1B
 TOTAL LOTS: 62
 DENSITY: 1.6 LOTS/AC
 SMALLEST LOT: 9900 SF (MULTIPLE)
 LARGEST LOT: 18737 SF (LOT 33)
 STREETS: 3237 LF

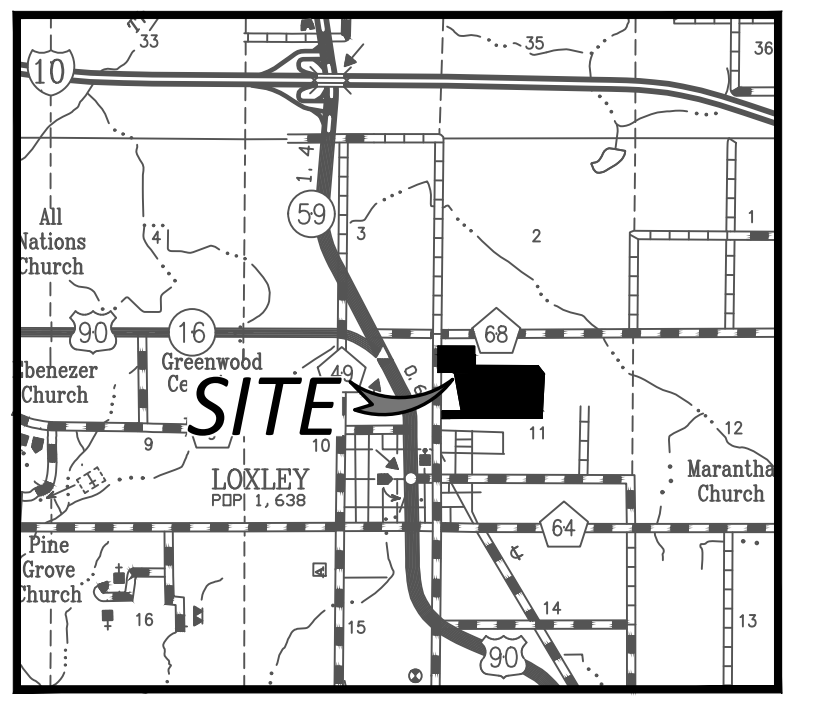
BUILDING SETBACKS:
 FRONT: 30 FT.
 REAR: 30 FT.
 SIDE: 10 FT.
 SIDE STREET: 30 FT.

PARCEL INFORMATION
 PID: 05-42-01-11-2-000-002.000
 PIN: 62195

OWNER
 LINDA ELLIS
 8770 LEA BROOK CT
 FAIRHOPE, AL 36532

UTILITIES:
 SEWER: LOXLEY UTILITIES
 WATER: LOXLEY UTILITIES
 POWER: RIVIERA UTILITIES
 TELEPHONE: BRIGHTSPEED

SURVEYOR/ENGINEER
 SE CIVIL
 9969 WINDMILL ROAD
 FAIRHOPE AL. 36532



ADJACENT PROPERTY OWNERS

(A) 05-42-01-11-2-000-001.031 JAMES CHRISTINA 154 NORTHGATE DR LOXLEY AL 36551	(D) 05-42-01-11-2-000-001.034 ROMANO DON MICHAEL 116 NORTHGATE DR LOXLEY AL 36551	(G) 05-42-01-11-2-000-001.072 GOLF COAST CAPITAL L P 800 FLORENCE BLVD FLORENCE AL 36530	(J) 05-42-01-11-2-000-001.068 GOLF COAST CAPITAL L P 800 FLORENCE BLVD FLORENCE AL 36530	(Q) 05-42-01-11-2-000-003.004 LOXLEY TOWN OF 1045 BOX 9 LOXLEY AL 36551
(B) 05-42-01-11-2-000-001.032 RALEY CAROL ANN 108 NORTHGATE DR LOXLEY AL 36551	(H) 05-42-01-11-2-000-001.071 GOLF COAST CAPITAL L P 800 FLORENCE BLVD FLORENCE AL 36530	(K) 05-42-01-11-2-000-001.067 GOLF COAST CAPITAL L P 800 FLORENCE BLVD FLORENCE AL 36530	(L) 05-42-01-11-2-000-001.069 GOLF COAST CAPITAL L P 800 FLORENCE BLVD FLORENCE AL 36530	(P) 05-42-01-11-2-000-001.069 CHAPPEL WIRELESS ALICIA GAYLE 334 N HOLLEY ST LOXLEY AL 36551
(C) 05-42-01-11-2-000-001.033 WATSON DONALD A 112 NORTHGATE DR LOXLEY AL 36551	(I) 05-42-01-11-2-000-001.073 GOLF COAST CAPITAL L P 800 FLORENCE BLVD FLORENCE AL 36530	(M) 05-42-01-11-2-000-001.068 GOLF COAST CAPITAL L P 800 FLORENCE BLVD FLORENCE AL 36530	(N) 05-42-01-11-2-000-001.067 GOLF COAST CAPITAL L P 800 FLORENCE BLVD FLORENCE AL 36530	(R) 05-42-01-11-2-000-003.004 LOXLEY TOWN OF 1045 BOX 9 LOXLEY AL 36551

SURVEYOR'S NOTES:

1. THERE MAY BE UNRECORDED DEEDS, EASEMENTS, RIGHT-OF-WAYS, OR OTHER INSTRUMENTS WHICH COULD AFFECT THE BOUNDARIES OF SAID PROPERTIES.
2. THERE WAS NO ATTEMPT TO DETERMINE THE EXISTENCE, LOCATION, OR EXTENT OF ANY SUB-SURFACE FEATURES.
3. THE LINES REPRESENTING THE CENTERLINE AND RIGHT-OF-WAYS OF THE STREETS ARE SHOWN FOR VISUAL PURPOSES ONLY AND WERE NOT SURVEYED UNLESS RIGHT-OF-WAY MONUMENTATION IS ALSO SHOWN.
4. SURVEY WAS CONDUCTED ON DECEMBER 2025, AND IS RECORDED IN AN ELECTRONIC FIELD BOOK.
5. BEARINGS AND DISTANCES SHOWN HEREON WERE COMPUTED FROM ACTUAL FIELD TRAVERSES, AND ARE BASED ON NAD83 STATE PLANE GRID, ALABAMA WEST ZONE USING GPS OBSERVATIONS.
6. ELEVATIONS SHOWN HEREON ARE BASED ON VERTICAL DATUM OF NAVD83.

GENERAL NOTES:

1. FOR THE LOCATION OF ALL UTILITIES, SEE CONSTRUCTION PLANS.
2. ALL COMMON AREAS WITHIN THE DEVELOPMENT, INCLUDING DRAINAGE FACILITIES, ARE NOT THE RESPONSIBILITY OF THE CITY OF LOXLEY TO MAINTAIN, BUT SHALL BE OWNED AND MAINTAINED BY THE PROPERTY OWNERS ASSOCIATION, AS OUTLINED IN THE COVENANTS AND RESTRICTIONS, RECORDED IN THE BALDWIN COUNTY PROBATE RECORDS.
3. THERE IS A DEDICATED HERETHWITH A 10 FOOT UTILITY EASEMENT ON ALL LOT LINES AND COMMON AREAS ADJACENT TO THE RIGHT-OF-WAYS AND A 10 FOOT UTILITY EASEMENT ON EACH SIDE OF LOT AND COMMON AREA LINES, UNLESS OTHERWISE NOTED.
4. THERE IS DEDICATED HERETHWITH A 15 FOOT DRAINAGE EASEMENT ALONG THE REAR OF ALL LOTS THAT DO NOT BACK UP TO A COMMON AREA CONTAINING DRAINAGE INFRASTRUCTURE.
5. ALL SIDEWALKS WITHIN THIS DEVELOPMENT SHALL BE ADA COMPLIANT.
6. MAXIMUM LOT COVERAGE PERMITTED FOR THE MAIN DWELLING SHALL BE ONE HUNDRED (100) PERCENT OF THE PERMITTED BUILDING AREA NOT INCLUDING COVERAGE PERMITTED FOR ACCESSORY BUILDINGS OR STRUCTURES.
7. 100 YEAR FLOOD BOUNDARY LINES SHOWN HEREON ARE BASED ON A FLOOD STUDY PERFORMED BY DEWBERRY.

SURVEYOR'S CERTIFICATE

I HEREBY STATE THAT ALL PARTS OF THIS SURVEY AND DRAWING HAVE BEEN COMPLETED IN ACCORDANCE WITH THE CURRENT REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR SURVEYING IN THE STATE OF ALABAMA TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF.

BEGINNING AT A 1/2" CAPPED REBAR SET (SE CIVIL) AT THE SOUTHWEST CORNER OF NORTHGATE SUBDIVISION, UNIT 1, AS SHOWN BY MAP OR PLAT THEREOF RECORDED AT SLIDE 906-B, BALDWIN COUNTY PROBATE RECORDS, AND RUN THENCE SOUTH 89 DEGREES 48 MINUTES 44 SECONDS EAST, ALONG THE SOUTH LINE OF SAID NORTHGATE SUBDIVISION AND THE SOUTH LINE OF LOXLEY STATION AS SHOWN BY MAP OR PLAT THEREOF RECORDED AT SLIDE 2401-C, BALDWIN COUNTY PROBATE RECORDS, A DISTANCE OF 644.76 FEET TO A 1/2" CAPPED REBAR SET (SE CIVIL); THENCE RUN SOUTH 00 DEGREES 10 MINUTES 00 SECONDS WEST, A DISTANCE OF 152.28 FEET TO A 1/2" CAPPED REBAR SET (SE CIVIL); THENCE RUN SOUTH 89 DEGREES 50 MINUTES 00 SECONDS EAST, A DISTANCE OF 13.82 FEET TO A 1/2" CAPPED REBAR SET (SE CIVIL); THENCE RUN SOUTH 00 DEGREES 10 MINUTES 00 SECONDS WEST, A DISTANCE OF 182.00 FEET TO A 1/2" CAPPED REBAR SET (SE CIVIL); THENCE RUN SOUTH 89 DEGREES 50 MINUTES 00 SECONDS EAST, A DISTANCE OF 1096.20 FEET TO A 1/2" CAPPED REBAR SET (SE CIVIL); THENCE RUN SOUTH 87 DEGREES 27 MINUTES 57 SECONDS EAST, A DISTANCE OF 182.60 FEET TO A 1/2" CAPPED REBAR SET (SE CIVIL); THENCE RUN SOUTH 03 DEGREES 01 MINUTES 07 SECONDS WEST, A DISTANCE OF 777.52 FEET TO A 1/2" CAPPED REBAR SET (SE CIVIL); THENCE RUN SOUTH 89 DEGREES 52 MINUTES 04 SECONDS WEST, A DISTANCE OF 903.64 FEET TO A 3/4" CRIMP TOP IRON FOUND AT THE NORTHEAST CORNER OF ELLISON'S MEADOWLAWN ADDITION TO LOXLEY, AS SHOWN BY MAP OR PLAT THEREOF, RECORDED AT SLIDE 304-B, BALDWIN COUNTY PROBATE RECORDS; THENCE RUN SOUTH 89 DEGREES 45 MINUTES 46 SECONDS WEST, ALONG THE NORTH LINE OF SAID ELLISON'S MEADOWLAWN ADDITION TO LOXLEY, A DISTANCE OF 705.31 FEET TO A 3/4" CRIMP TOP IRON FOUND; THENCE RUN SOUTH 89 DEGREES 27 MINUTES 46 SECONDS WEST, A DISTANCE OF 141.64 FEET TO A 1/2" CRIMP TOP IRON FOUND; THENCE RUN NORTH 01 DEGREES 05 MINUTES 28 SECONDS WEST, A DISTANCE OF 133.35 FEET TO A 1/2" CRIMP TOP IRON FOUND; THENCE RUN NORTH 89 DEGREES 27 MINUTES 44 SECONDS EAST, A DISTANCE OF 681.63 FEET TO A 1/2" REBAR FOUND; THENCE RUN SOUTH 89 DEGREES 33 MINUTES 47 SECONDS WEST, A DISTANCE OF 286.72 FEET TO A 1/2" REBAR FOUND ON THE EAST RIGHT-OF-WAY OF NORTH HOLLEY STREET; THENCE RUN NORTH 00 DEGREES 16 MINUTES 19 SECONDS EAST, ALONG SAID EAST RIGHT-OF-WAY, A DISTANCE OF 462.23 FEET TO THE POINT OF BEGINNING. TRACT CONTAINS 38.58 ACRES, MORE OR LESS AND LIES IN THE NORTHWEST QUARTER OF SECTION 11, TOWNSHIP 5 SOUTH, RANGE 3 EAST, BALDWIN COUNTY, ALABAMA.

David E. Diehl 04-27-2026
 DAVID E. DIEHL, P.L.S. NO. 26014 DATE
 SURVEY NOT VALID WITHOUT ORIGINAL SIGNATURE AND SEAL.



AZALEA GARDENS - PHASE 3
 A PART OF SECTION 11, TOWNSHIP 5 SOUTH, RANGE 3 EAST, BALDWIN COUNTY, ALABAMA.
 SHEET 1 OF 2

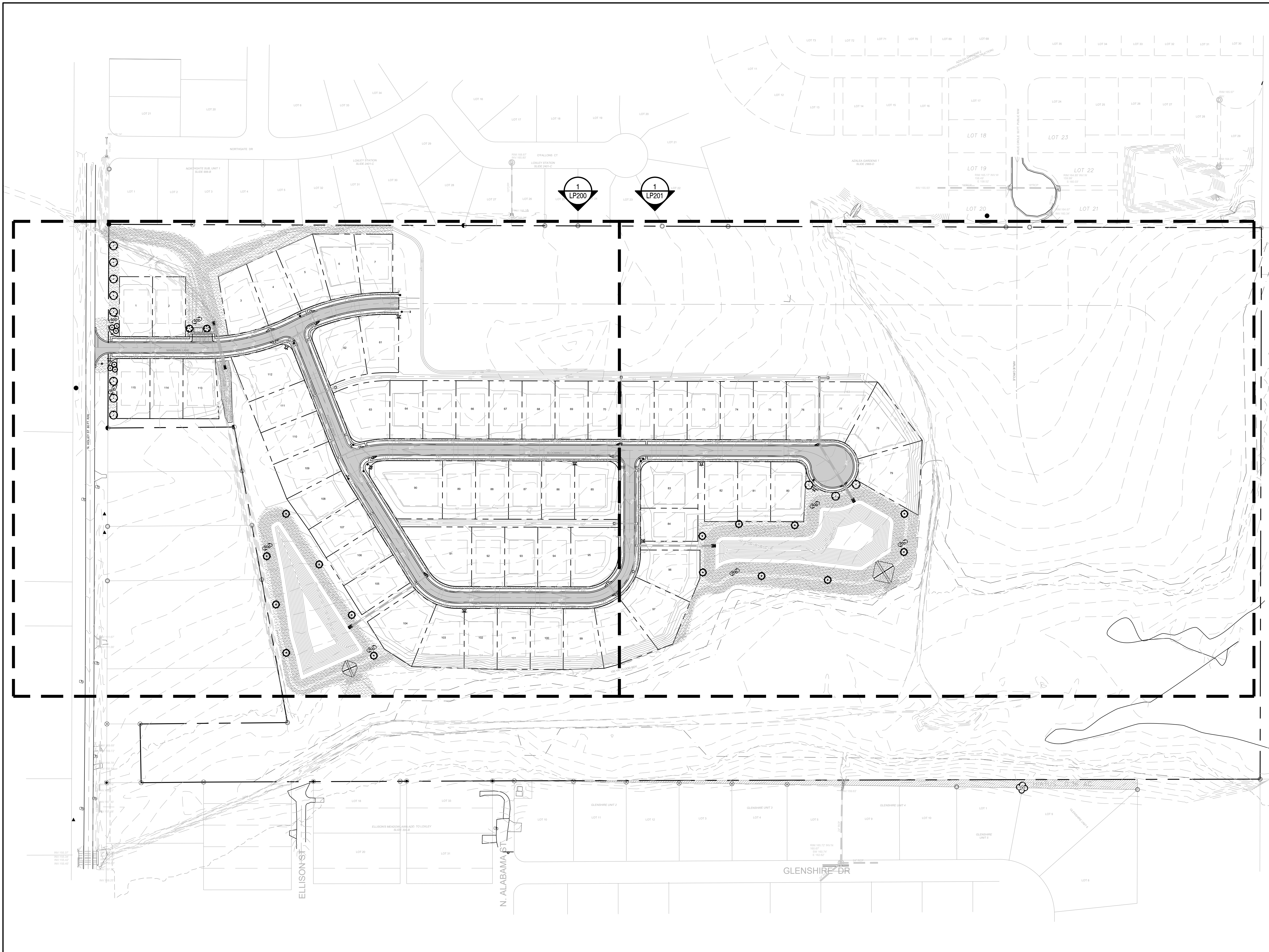
FLOOD STATEMENT
 PROPERTY LIES IN FLOOD ZONE "X" AS SCALED FROM FLOOD INSURANCE RATE MAP NUMBER 01003C0565M, COMMUNITY NUMBER 015000, PANEL 0565, SUFFIX "M", DATED APRIL 19, 2019.

WETLAND STATEMENT
 WETLANDS SHOWN HEREON ARE BASED ON A WETLAND DELINEATION PERFORMED BY UES ON JANUARY 28, 2026.

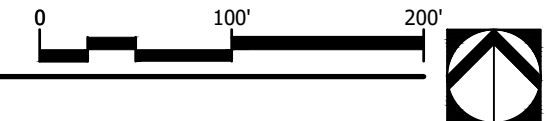
PRELIMINARY PLAT
 APRIL 27, 2026
 68 VENTURES

SE Civil Engineering & Surveying
 9969 WINDMILL RD
 FAIRHOPE, AL 36532
 (251) 990-6566

DRAWN	BMB
CHKD	DED
PROJ MGR	DED
SCALE	1"=80'
PROJECT	20251597
FILE	PHASE 3 PRELIM
SHEET	1 OF 2



1 LANDSCAPE REFERENCE PLAN
Scale: 1" = 100'



NOT
FOR CONSTRUCTION
THESE PLANS HAVE NOT BEEN
APPROVED AND ARE SUBJECT
TO CHANGE.

A Landscape Development Plan for
Azalea Gardens
Loxley, Alabama

Revisions		
No.	Date	Revisions / Submissions
04.24.26		CITY SUBMITTAL

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VIW	Registration
Drawn	
VW	
Project Manager	
CW	
Principal	
263163-167	
Project No.	
04.24.26	
Date	

Sheet Title

**LANDSCAPE
REFERENCE PLAN**

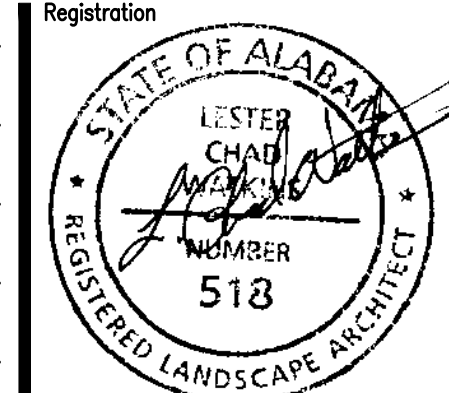
Sheet No.
LP100

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FOR CONSTRUCTION
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A Landscape Development Plan for
Azalea Gardens
Loxley, Alabama

Revisions		
No.	Date	Revisions / Submissions
04.24.26		CITY SUBMITTAL

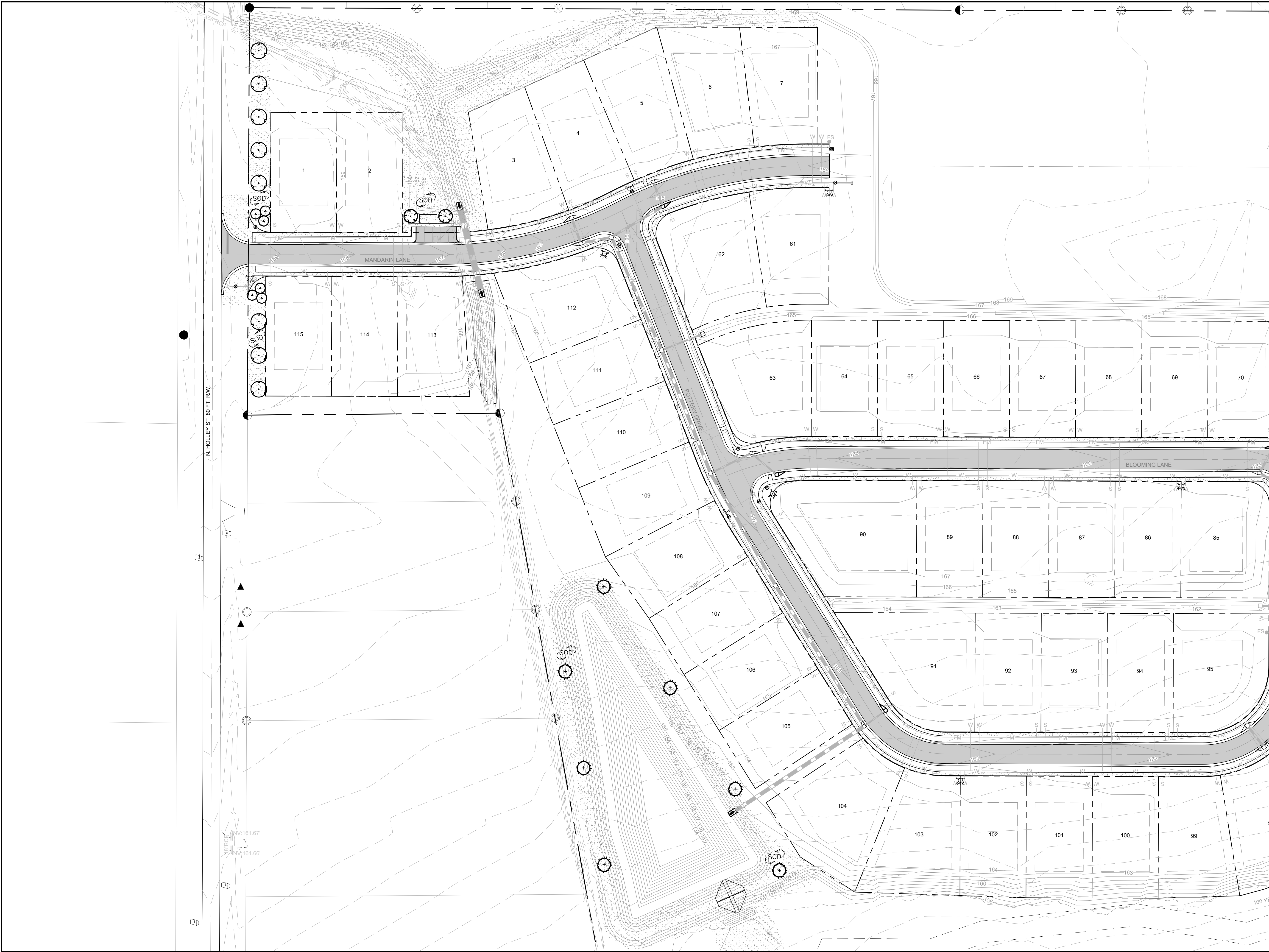
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VIW Drawn VW Project Manager CW Principal 263163-167 Project No. 04.24.26 Date	Registration 
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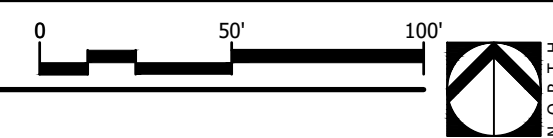
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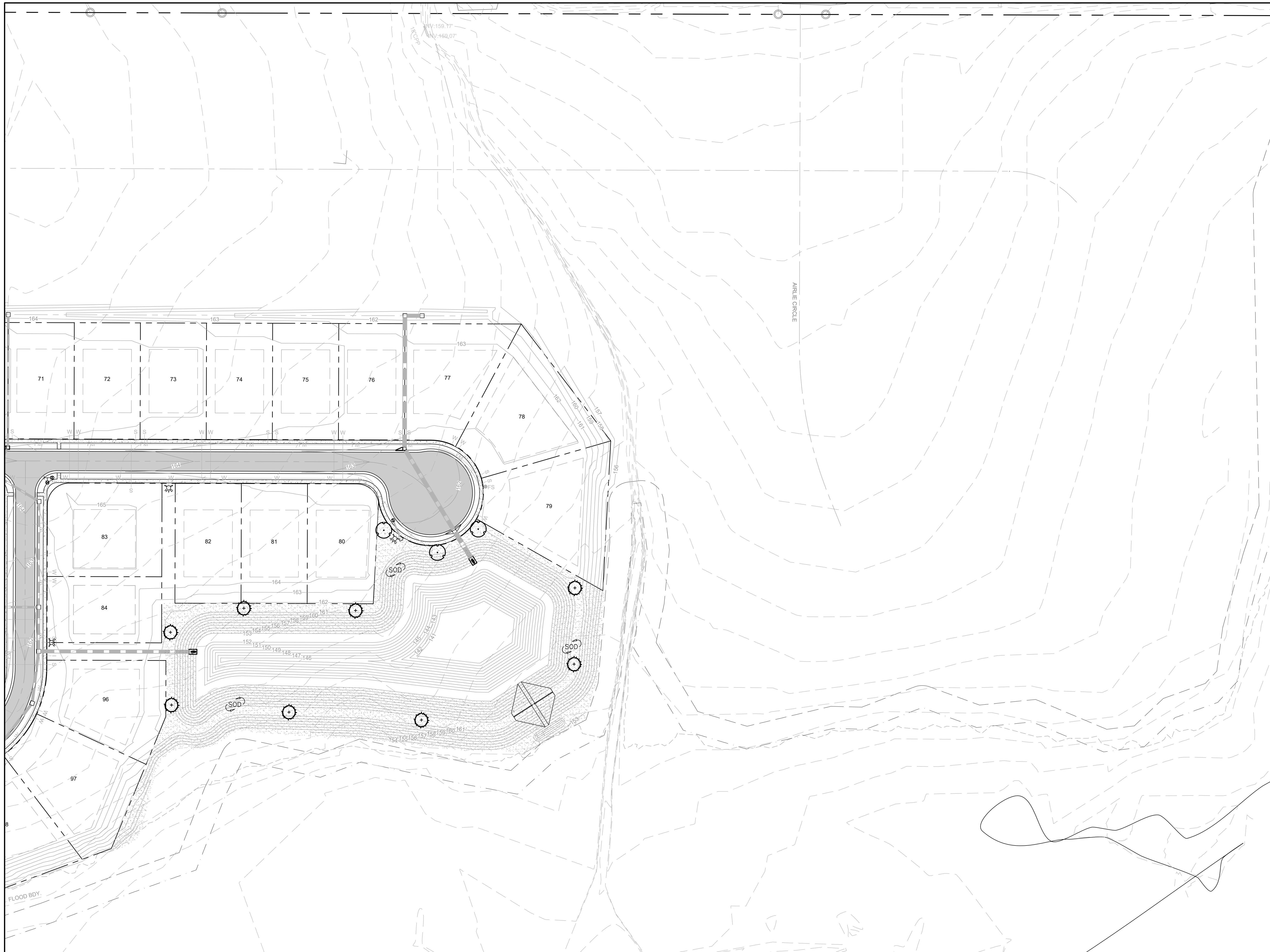
**LANDSCAPE
PLANTING PLAN**

Sheet No.
LP200

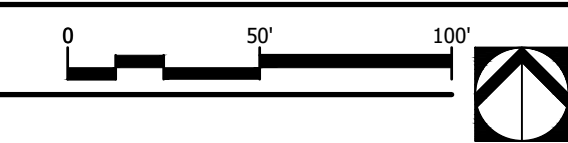


1 LANDSCAPE PLANTING PLAN
Scale: 1" = 50'





1 LANDSCAPE PLANTING PLAN
Scale: 1" = 50'



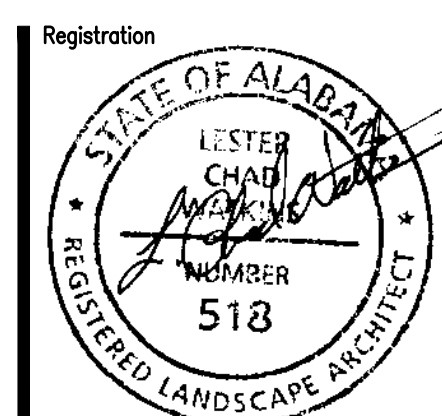
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A Landscape Development Plan for
Azalea Gardens
Loxley, Alabama

Revisions		
No.	Date	Revisions / Submissions
04.24.26		CITY SUBMITTAL

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VIW
Drawn
VW
Project Manager
CW
Principal
263163-167
Project No.
04.24.26
Date



Sheet Title

LANDSCAPE
PLANTING PLAN

Sheet No.
LP201

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A Landscape Development Plan for
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Loxley, Alabama

Revisions		
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04.24.26		CITY SUBMITTAL

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 Drawn _____
 VW _____
 Project Manager _____
 CW _____
 Principal _____
 263163-167
 Project No. _____
 04.24.26
 Date _____

Sheet Title

**LANDSCAPE
PLANTING DETAILS**

PLANT SCHEDULE								
SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	HT	REMARKS
TREES								
	LN	6	LAGERSTROEMIA INDICA 'NATCHEZ'	'NATCHEZ' CRAPE MYRTLE	30 GAL		8'	MINIMUM 3 TRUNKS; FULL HEAD
	QN	2	QUERCUS NUTTALLII	NUTTALL OAK	B&B OR CONT	3.5" CAL	12'	FULL HEAD, SPECIMEN QUALITY
	QV	11	QUERCUS VIRGINIANA	SOUTHERN LIVE OAK	B&B OR CONT	3.5" CAL	12'	FULL HEAD, SPECIMEN QUALITY
	TD	15	TAXODIUM DISTICHUM	BALD CYPRESS	B&B OR CONT	3.5" CAL	12'	FULL HEAD, SPECIMEN QUALITY
SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	HT	SPACING	REMARKS
SOD/SEED								
	SOD	138,807 SF	CYNODON DACTYLON 'TIFWAY 419'	TIFWAY 419 BERMUDA GRASS	SOD			

GENERAL NOTES

CONSTRUCTION NOTES

- CONSTRUCTION STAKE-OUT IS THE RESPONSIBILITY OF THE CONTRACTOR. ELEMENTS ARE TO BE STAKED IN THE FIELD BY THE CONTRACTOR FOR REVIEW AND APPROVAL OF THE OWNER'S REPRESENTATIVE PRIOR TO COMMENCEMENT OF CONSTRUCTION. ANY CONFLICTS IN FIELD THAT MAY ARISE, CONTRACTOR IS TO MAKE BEST JUDGEMENT DURING FIELD STAKE-OUT & COORDINATE WITH OWNER'S REPRESENTATIVE/L.A. FOR APPROVAL.
- CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL UTILITIES PRIOR TO CONSTRUCTION. EXISTING UTILITIES TO REMAIN SHALL BE PROTECTED FROM CONSTRUCTION ACTIVITIES.
- CONTRACTOR SHALL STAGE CONSTRUCTION ACTIVITY IN SUCH A MANNER AS TO MINIMIZE THE AREA OF DISTURBED EARTH AT THE END OF EACH WORK DAY.

DISTURBED AREAS

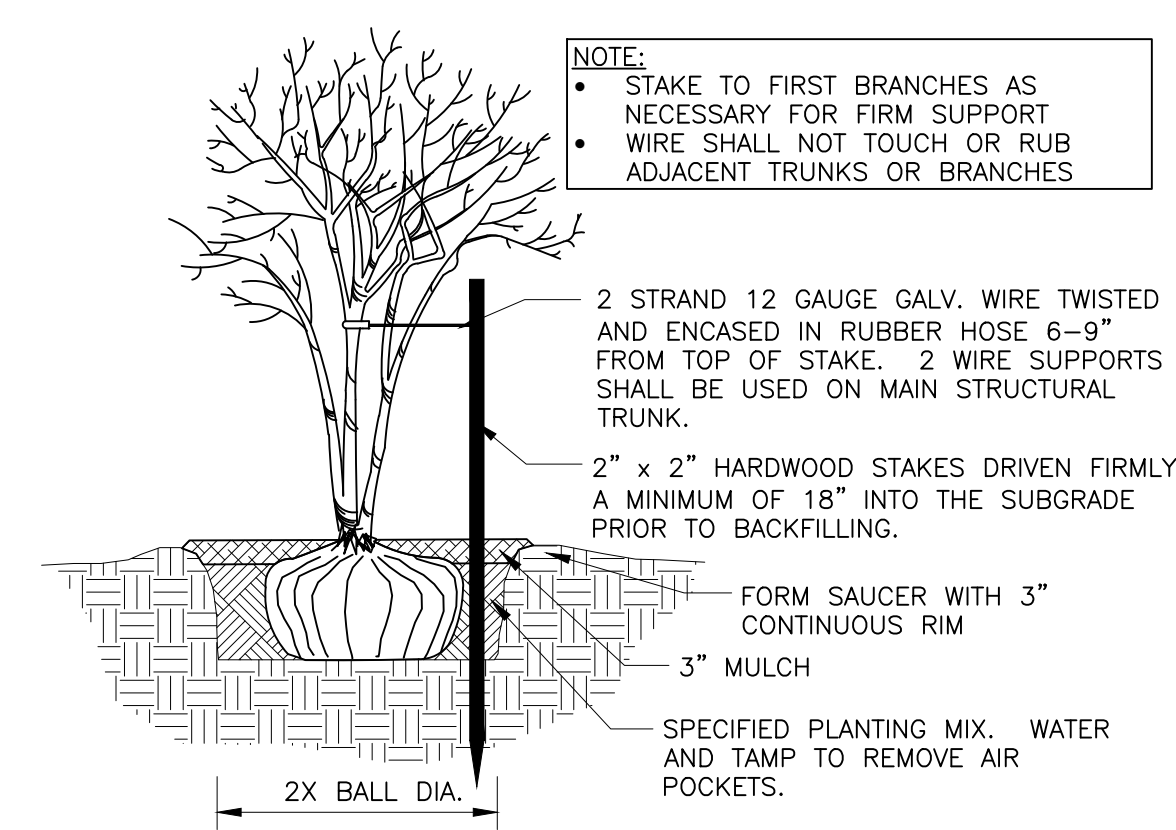
ANY DISTURBED AREAS SHALL RECEIVE SOD, SEED/HAY OR MULCH AS NECESSARY & SHALL RECEIVE APPROPRIATE WATERING FOR ESTABLISHMENT. ALL LANDSCAPE BEDS ARE TO RECEIVE 3" DEPTH LONG LEAF PINE STRAW, SETTLED.

PLANT MATERIAL

IF PLANT HEIGHT &/OR CALIPER IS NOT AVAILABLE IN SPECIFIED POT SIZE, UPSIZING OF POTS/CONTAINER MAY BE NECESSARY TO MEET THE PLANT SIZE REQUIREMENT.

QUANTITY TAKEOFF DISCLAIMER

QUANTITIES NOTED ON PLANS ARE OFFERED AS A CONVENIENCE TO THE CONTRACTOR FOR BID PURPOSES ONLY. CONTRACTOR SHALL VERIFY ALL QUANTITIES AND REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT.



1 MULTI-TRUNK TREE STAKING
1/2" = 1'-0" 329343-01

GENERAL CONDITIONS

- CONTRACTOR SHALL BE RESPONSIBLE FOR THE SITE INSPECTION PRIOR TO LANDSCAPE CONSTRUCTION AND INSTALLATION IN ORDER TO ACQUAINT HIMSELF WITH EXISTING CONDITIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL EXISTING UNDERGROUND UTILITIES BEFORE BEGINNING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF LANDSCAPE MATERIAL AT ALL TIMES. LANDSCAPE CONTRACTOR TO COORDINATE SAFE STAGING AREA WITH GENERAL CONTRACTOR AND/OR OWNER.
- CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL, INCLUDING GRASS, FOR 365 CONSECUTIVE CALENDAR DAYS FROM SUBSTANTIAL COMPLETION OF THE WORK, AS DETERMINED BY THE PROJECT LANDSCAPE ARCHITECT.
- ALL AREAS IMPACTED NEGATIVELY BY CONSTRUCTION PROCESSES SHALL BE RETURNED TO ORIGINAL CONDITION OR BETTER PRIOR TO SUBSTANTIAL COMPLETION.

LANDSCAPE AREA SOIL PREPARATION

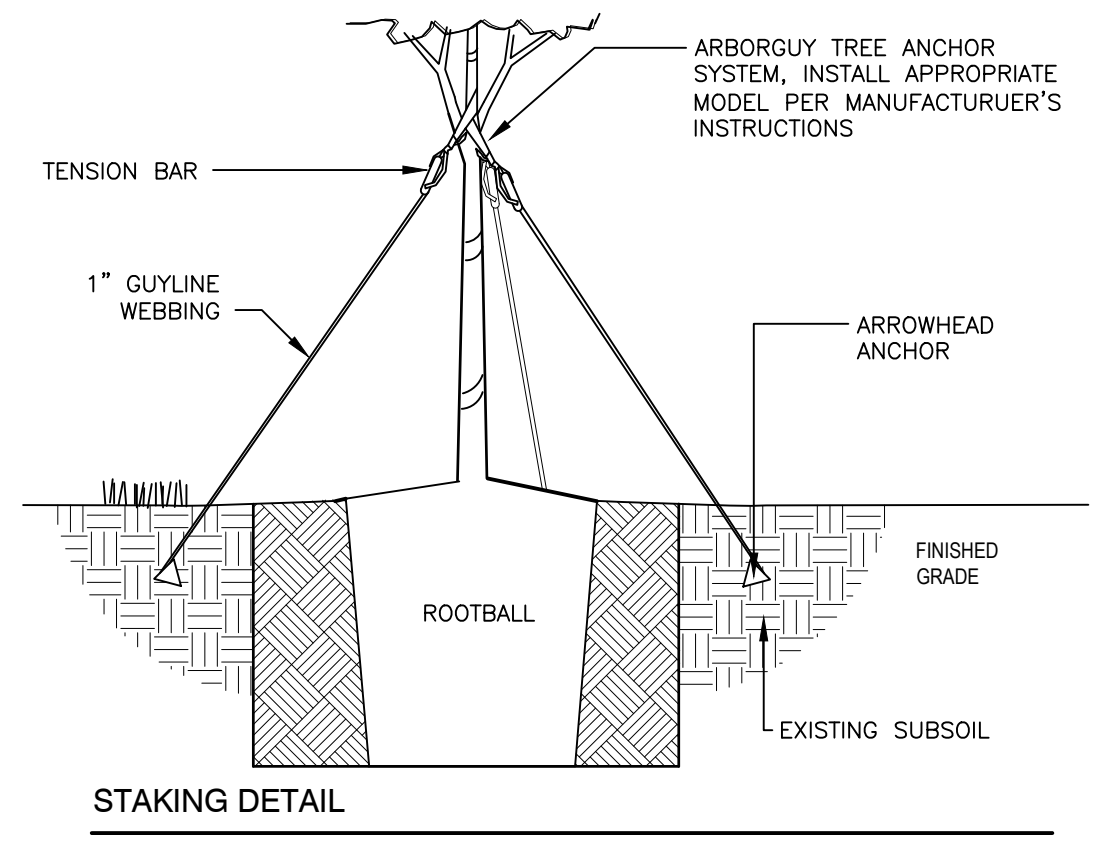
- PLANTING SOIL SHALL BE CREATED BY AMENDING TOPSOIL WITH THE ADDITION OF COMPOST. COMPOST TYPE SHALL BE MUSHROOM COMPOST OR DECOMPOSED PINE BARK, AND SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO PURCHASE. COMPOST SHALL BE UNIFORMLY APPLIED OVER PLANTING BEDS AT AN AVERAGE DEPTH OF 2 INCHES AND OVER SOD AREAS AT AN AVERAGE DEPTH OF 3/4 INCH.
- INCORPORATE UNIFORMLY IN PLANTING BEDS TO A DEPTH OF 6 INCHES AND IN SOD AREAS TO A DEPTH OF 3 INCHES USING A ROTARY TILLER OR OTHER APPROPRIATE EQUIPMENT. PRE-PLANT FERTILIZER AND PH ADJUSTING AGENTS (E.G., LIME AND SULFUR) MAY BE APPLIED IN CONJUNCTION WITH COMPOST INCORPORATION, AS REQUIRED PER SOIL TEST (IF REQUESTED BY OWNER).
- RAKE SOIL SURFACE SMOOTH PRIOR TO PLANTING.
- REMOVE STONES LARGER THAN 1 INCH IN ANY DIMENSION AND STICKS, ROOTS, RUBBISH, AND OTHER EXTRANEOUS MATTER AND LEGALLY DISPOSE OF THEM OFF OWNER'S PROPERTY.
- WATER THOROUGHLY AFTER PLANTING.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING 3% POSITIVE DRAINAGE IN ALL PLANTING BEDS. ANY OTHER PROPOSED DRAINAGE METHODS SHALL BE COORDINATED WITH PLANTING EFFORTS TO MINIMIZE CONFLICTS AND MAINTAIN PROPER FUNCTION OF DRAINAGE SYSTEMS.

PLANT MATERIAL AND PLANTING

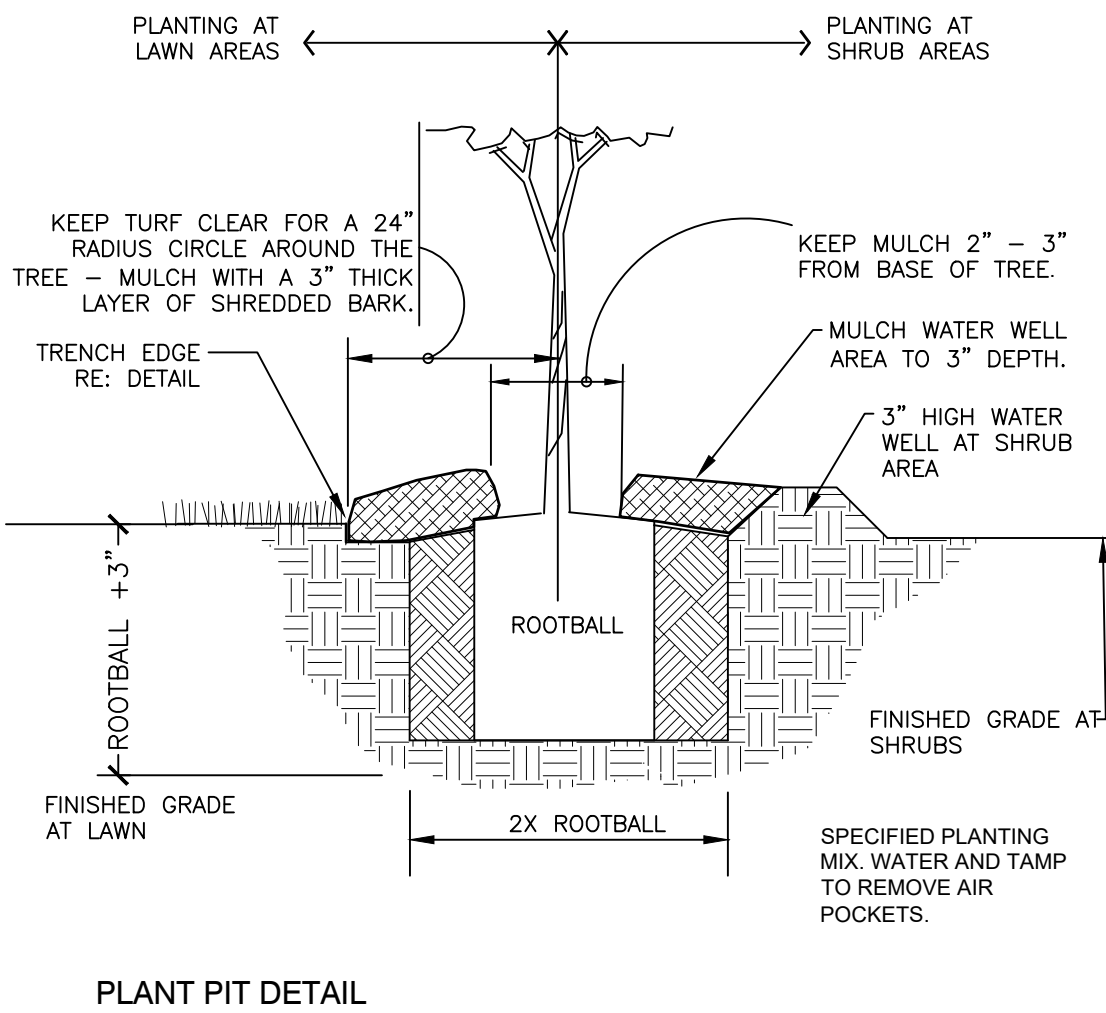
- PLANT QUANTITIES ARE OFFERED AS A CONVENIENCE TO THE CONTRACTOR, AND ARE NOT ABSOLUTE. CONTRACTOR SHALL VERIFY PLANT COUNT FROM PLAN AND REPORT DIFFERENCES.
- ALL PLANT MATERIALS ARE SUBJECT TO APPROVAL OR REFUSAL BY THE OWNER OR LANDSCAPE ARCHITECT AT ANY TIME.
- PLANTS SHALL BE WELL FORMED, VIGOROUS, GROWING SPECIMENS WITH GROWTH TYPICAL OF VARIETIES SPECIFIED AND SHALL BE FREE FROM INJURY, INSECTS AND DISEASES. PLANTS SHALL EQUAL OR SURPASS QUALITY AS DEFINED IN THE CURRENT ISSUE OF "AMERICAN STANDARDS FOR NURSERY STOCK" AS PUBLISHED BY THE AMERICAN NURSERYMEN, INC.
- UNLESS NOTED SPECIFICALLY, ALL PLANT MATERIAL SHALL BE BALLED AND BURLAPPED OR CONTAINER GROWN.
- FRONT ROW OF SHRUBS SHALL BE PLANTED FROM CENTER OF PLANT A MINIMUM OF 24" BEHIND BED LINE @ LAWNS OR WALKS AND A MINIMUM OF 36" BACK OF CURB @ PARKING SPACES.
- NO PRUNING SHOULD BE PERFORMED DURING FIRST GROWING SEASON EXCEPT FOR REMOVING DAMAGED OF DEAD GROWTH. WOUND PAINT IS NOT RECOMMENDED FOR ANY CUTS.
- ALL PLANTING AREAS, TREE PITS, AND OTHER AREAS INDICATED ON PLANS SHALL BE MULCHED WITH A SETTLED LAYER OF THE INDICATED MULCH:

- 3" DEPTH PINE BARK
 - 4" DEPTH SHREDDED HARDWOOD MULCH
 - 3" DEPTH LONG LEAF PINESTRAW, SETTLED
- TRENCH EDGE TO BE LOCATED BETWEEN ALL PLANTING AREAS AND LAWN, UNLESS NOTED OTHERWISE.
 - TREE STAKING SHALL BE PROVIDED TO KEEP TREES PLUMB AND PROTECTED FROM EXCESSIVE WINDS. ALL TREE-STAKING APPARATUS SHALL BE REMOVED AT THE END OF THE ONE-YEAR WARRANTY PERIOD.
 - ONE YEAR OF LANDSCAPE MAINTENANCE FROM SUBSTANTIAL COMPLETION SHALL BE INCLUDED AS AN OPTIONAL BID ITEM TO THE OWNER.

2 GENERAL PLANTING NOTES
1" = 1" 329399-01



STAKING DETAIL
SET ROOTBALL CROWN 1 1/2" HIGHER THAN THE SURROUNDING FINISHED GRADE. SLOPE BACKFILL AWAY FROM ROOTBALL FOR POSITIVE DRAINAGE.



3 TREE PLANTING - GUY STRAP
1" = 1'-0" 329343.26-02

Holley Street
(Azalea Gardens Ph 3 & 4)
Traffic Impact Study

Study Performed by:
ALCO ENGINEERING SERVICES



February 2026



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Appendix

2026 Existing Traffic Volumes

2026 Existing Volumes HCM 7th Edition

- CR 68/ N. Holley Street – HCM TWSC
- N. Holley Street/ B Avenue – HCM AWSC

2029 Projected No Build/ Non-Site Trips HCM 7th Edition

- CR 68/ N. Holley Street – HCM TWSC
- N. Holley Street/ B Avenue – HCM AWSC

2029 Projected Total Peak Trips HCM 7th Edition Analysis

- CR 68/ N. Holley Street – HCM TWSC
- N. Holley Street/ B Avenue – HCM AWSC
- N. Holley Street/ Mandarin Lane – HCM TWSC

2029 NCHRP 457 Turn Lane Warrants

- 2029 EB RTL Warrant CR 68/ N. Holley Street
- 2029 WB LTL Warrant CR 68/ N. Holley Street
- 2029 NB RTL Warrant N. Holley Street/ Mandarin Lane
- 2029 SB LTL Warrant N. Holley Street/ Mandarin Lane

Section 1 Introduction

This study has been prepared for 68 Ventures, LLC as part of the required submittals for the City of Loxley approvals for the Holley Street (Azalea Gardens Ph 3 & 4) residential subdivision located along the east side of N. Holley Street. Holley Street (Azalea Gardens Ph 3 & 4) will be served by one full access connection described in Section 4.1. This residential subdivision is projected to be continuously constructed over three phases and will consist of 115 single-family housing units. Construction is projected to begin in Winter of 2026 once all approvals are obtained. The horizon year of Holley Street (Azalea Gardens Ph 3 & 4) is anticipated for 2029. **Figures 1.1** and **1.2** on the following pages present an aerial of the project location/ study intersections and the Holley Street (Azalea Gardens Ph 3 & 4) site plan.

The purpose of this study is to; analyze existing traffic across in the study area, project background growth rate across the study area for each year of the development’s construction to predict future traffic patterns, project site generated trip distribution, update projected intersection counts with site trip assignments, recommend roadway improvements as needed.



Figure 1.1 Project Location/ Study Intersections

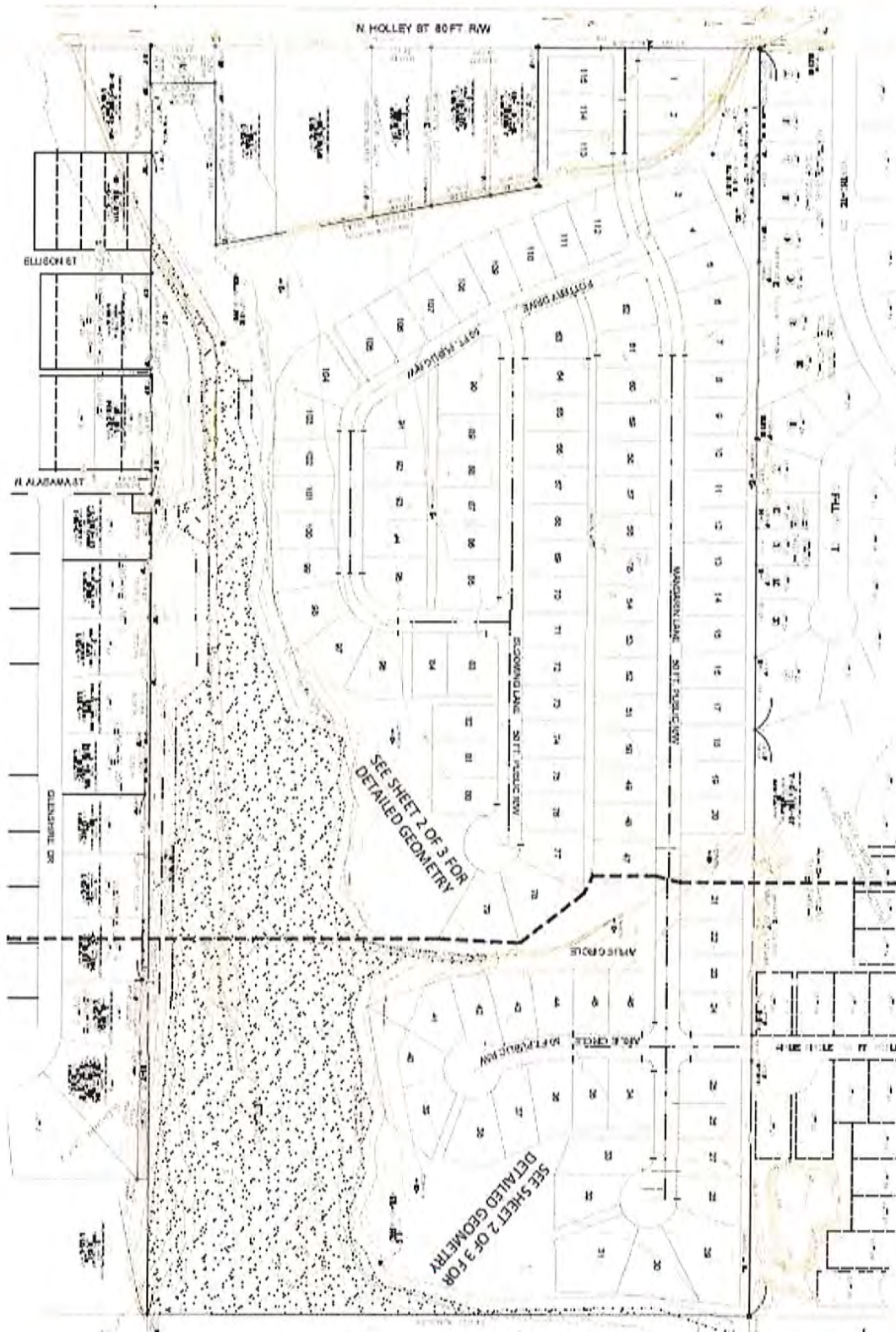


Figure 1.2 Holley Street (Azalea Gardens Ph 3 & 4) Site Plan

Section 2 Existing Conditions

2.1 Site Description

The Holley Street (Azalea Gardens Ph 3 & 4) site is located along the east side of N. Holley Street between CR 68 and B Avenue. The property is currently undeveloped.

2.2 N. Holley Street

N. Holley Street has a posted speed limit of 35 miles per hour in the area of development and is a north-south traveling route. N. Holley Street is not functionally classified as per the ALDOT Highway Functional Classification Map for Baldwin County. The typical roadway section in the development area consists of an undivided two-lane road with approximately 11' travel lanes with grass shoulders and open ditches for drainage. See **Figure 2.1** for N. Holley Street images.



Figure 2.1 N. Holley Street Images

2.3 County Road 68 (CR 68)

County Road 68 has a posted speed limit of 45 miles per hour in the area of development and is an east-west traveling route. CR 68 is functionally classified as a major collector as per the ALDOT Highway Functional Classification Map for Baldwin County. The typical roadway section in the development area consists of an undivided two-lane road with approximately 11' travel lanes with grass shoulders and open ditches for drainage. See **Figure 2.2** for CR 68 images.



Figure 2.2 CR 68 Images

2.4 B Avenue

B Avenue has a posted speed limit of 25 miles per hour in the area of development and is an east-west traveling route. B Avenue is not functionally classified as per the ALDOT Highway Functional Classification Map for Baldwin County. The typical roadway section in the development area consists of an undivided two-lane road with approximately 10' travel lanes with grass shoulders and open ditches for drainage. See **Figure 2.1** for B Avenue images.

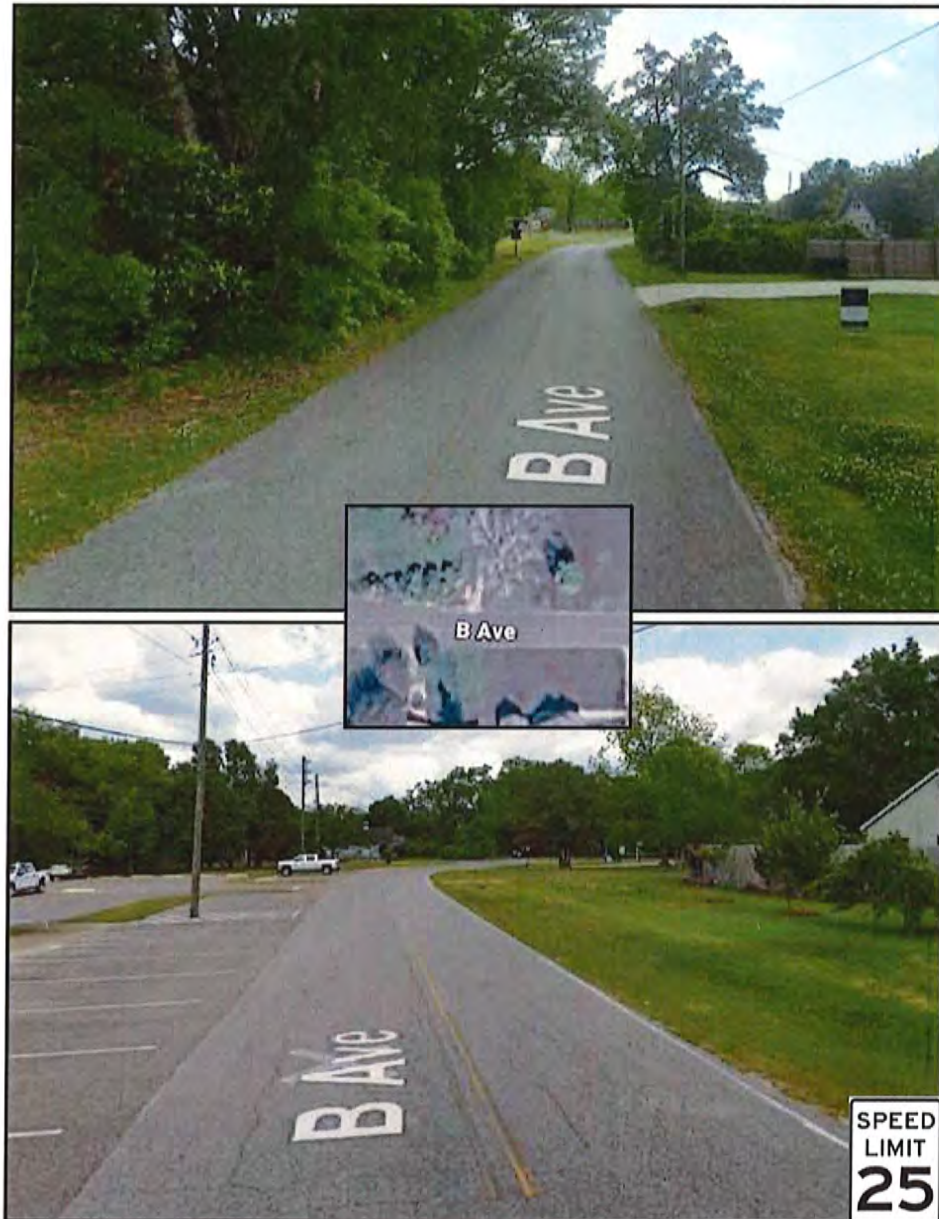


Figure 2.3 B Avenue Images

2.5 Intersection: CR 68/ N. Holley Street

The intersection of CR 68 and N. Holley Street is a four-leg, two-way stop-controlled intersection with N. Holley Street being the stop-controlled route. The typical roadway sections are described in the previous sections. See **Figure 2.4** for CR 68/ N. Holley Street intersection images.



Figure 2.4 Intersection CR 68/ N. Holley Street Images

2.6 Intersection: B Avenue/ N. Holley Street

The intersection of B Avenue and N. Holley Street is a four-leg, four-way stop-controlled intersection with B Avenue being the stop-controlled route. The typical roadway sections are described in the previous sections. See **Figure 2.5** for B Avenue and N. Holley Street intersection images.



Figure 2.5 Intersection B Avenue/ N. Holley Street Images

Section 3 Evaluation of Existing Conditions

3.1 Existing Traffic Volumes

This existing traffic analysis scope includes the intersections referenced in Sections 2.5 - 2.6 of this report. The turning movement counts used for this report were collected in February 2026. These counts were used for the base background traffic to which the annual growth rate will be applied for future volumes.

Figure 3A on the following page illustrates the 2026 Existing Intersection Counts.

3.2 Analysis Evaluation

The operational performance of an intersection is affected by multiple criteria such as delay experienced by vehicles, traffic volumes, road design, and method of traffic control such as signage or signals. The analysis in this study is based on the Highway Capacity Manual, 7th Edition. The level-of-service (LOS) of the intersection is based on delay. The delay is measured in seconds per vehicle. The LOS is designated as a letter from A to F (best to worst respectively). The charts below display the timing ranges for each LOS designation (in seconds/ vehicle):

<i>Unsignalized Intersection</i>	A ≤ 10	B > 10 - 15	C > 15 - 25	D > 25 - 35	E > 35 - 50	F > 50
<i>Signalized Intersection</i>	A ≤ 10	B > 10 - 20	C > 20 - 35	D > 35 - 55	E > 55 - 80	F > 80

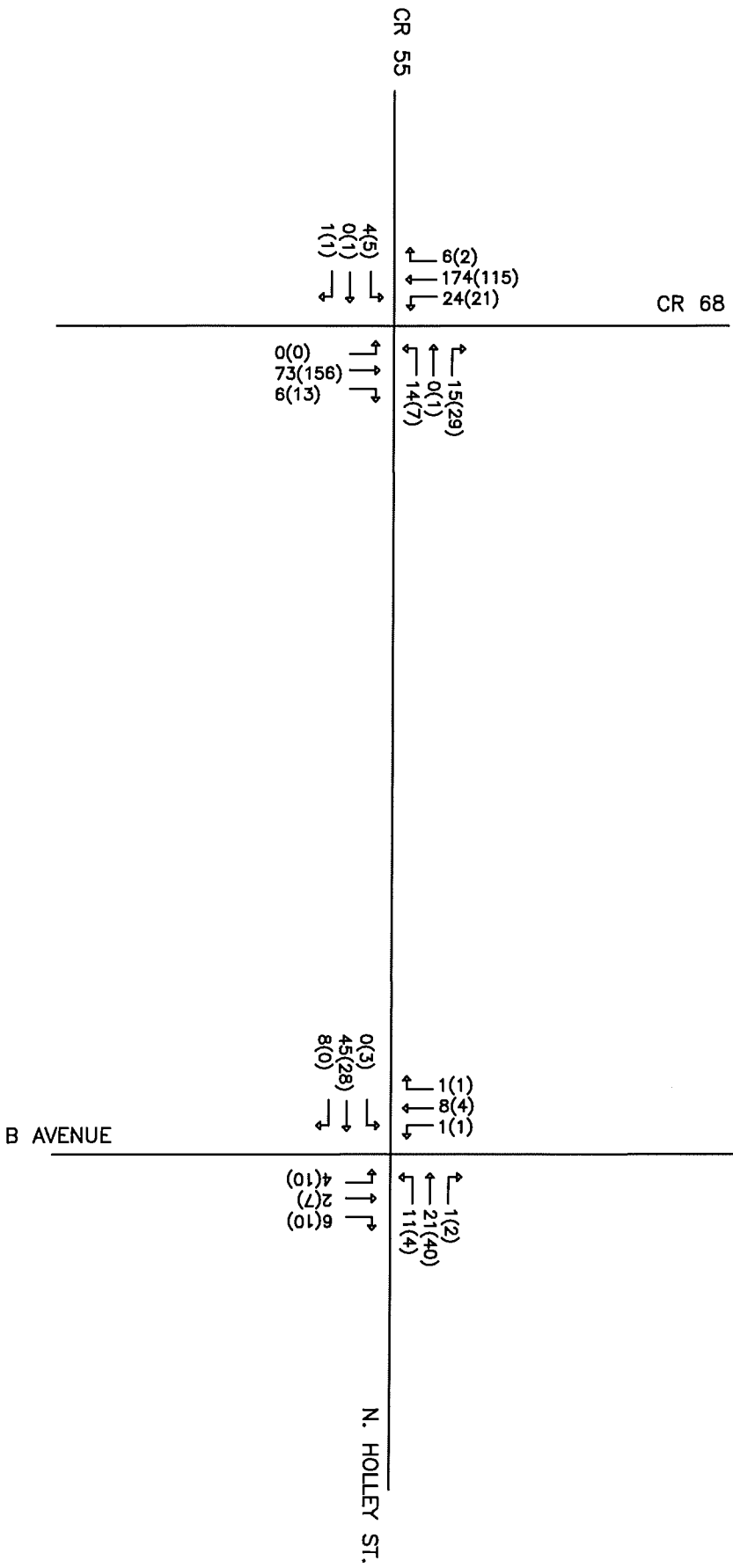
485

HOLLEY ST. (AZALEA GARDENS PH. 3 & 4)

2026 EXISTING TRAFFIC VOLUMES

FIG. 3A

** AM(PM) PEAK HOUR



3.3 Study Intersections: Existing Levels of Service

The existing levels of service for each intersection were analyzed based on the 2026 traffic volumes. Table 3.1 below shows the Existing LOS. The existing roadway geometry was used for this analysis.

Table 3.1 – Level-of-Service for Existing Traffic and Configurations

Intersections	Peak Period	EBL	EB	EBR	WBL	WB	WBR	NBL	NB	NBR	SBL	SB	SBR
CR 68/ N. Holley Street	AM	A/0	-/-	-/-	A/7.4	A/0	-/-		B/10.1			B/10.9	
	PM	A/0	-/-	-/-	A/7.6	A/0	-/-		A/9.9			B/11.1	
N. Holley Street/ B Avenue	AM		A/7			A/7.2			A/7.3			A/7.2	
	PM		A/7.1			A/7.1			A/7.3			A/7.2	

Note: “-” in the Synchro report in the Appendix indicates that the LOS is not defined in the *Highway Capacity Manual* for unopposed movements. For purposes of the study these are shown as LOS A. Empty cells are movements that are not present at that particular intersection.

Section 4 Holley Street (Azalea Gardens Ph 3 & 4) Residential Subdivision

4.1 Project Site

The project site consists of approximately 70.5 acres of undeveloped land. Holley Street (Azalea Gardens Ph 3 & 4) is a three-phase development consisting of 115 single-family homes. This development will have one full access connection to N. Holley Street. The overall site plan is shown in **Figure 1.2** of the Introduction section of the report.

4.2 Development Trip Generation

The Institute of Transportation Engineers Trip Generation, 12th Edition for detached single-family housing was utilized for the trip rates projected in this analysis. The site traffic distribution was assigned based on the distribution of the existing traffic data within the study area of roadways which surround the project site. The calculated trip generations of the proposed development are shown in Table 4.1.

Table 4.1 – Trip Generation

Land Use/ Phase	Unit of Measure (units, sqft, etc.)	Daily Trips	AM Peak Hour		PM Peak Hour	
			In	Out	In	Out
Single-Family Detached Housing (ITE 210)	115 Units	1194	22	61	68	41

Source: ITE Trip Generation, 12th Edition

The estimated site traffic distribution is presented in **Figure 4A**. The estimated site traffic volumes for Holley Street (Azalea Gardens Ph 3 & 4) are illustrated in **Figure 4B**.

4.3 No Build/ Non-Site Traffic Forecast

The 2026 traffic data collected is considered the background traffic of the area. The annual traffic volumes of the studied routes were used to project a Growth Rate percentage for each route. This background traffic projection is also a representation of the No Build scenario of the analysis. The growth rate for the routes were calculated using the traffic volumes available on the Alabama Traffic Data site over the last 5 years. The result yielded a Growth Rate of 2.81%/yr for CR 68, 2.71%/yr for N. Holley St, and B Avenue was projected for 2%/yr.

Figure 4C illustrates the 2029 No Build/ Non-Site Traffic Volumes.

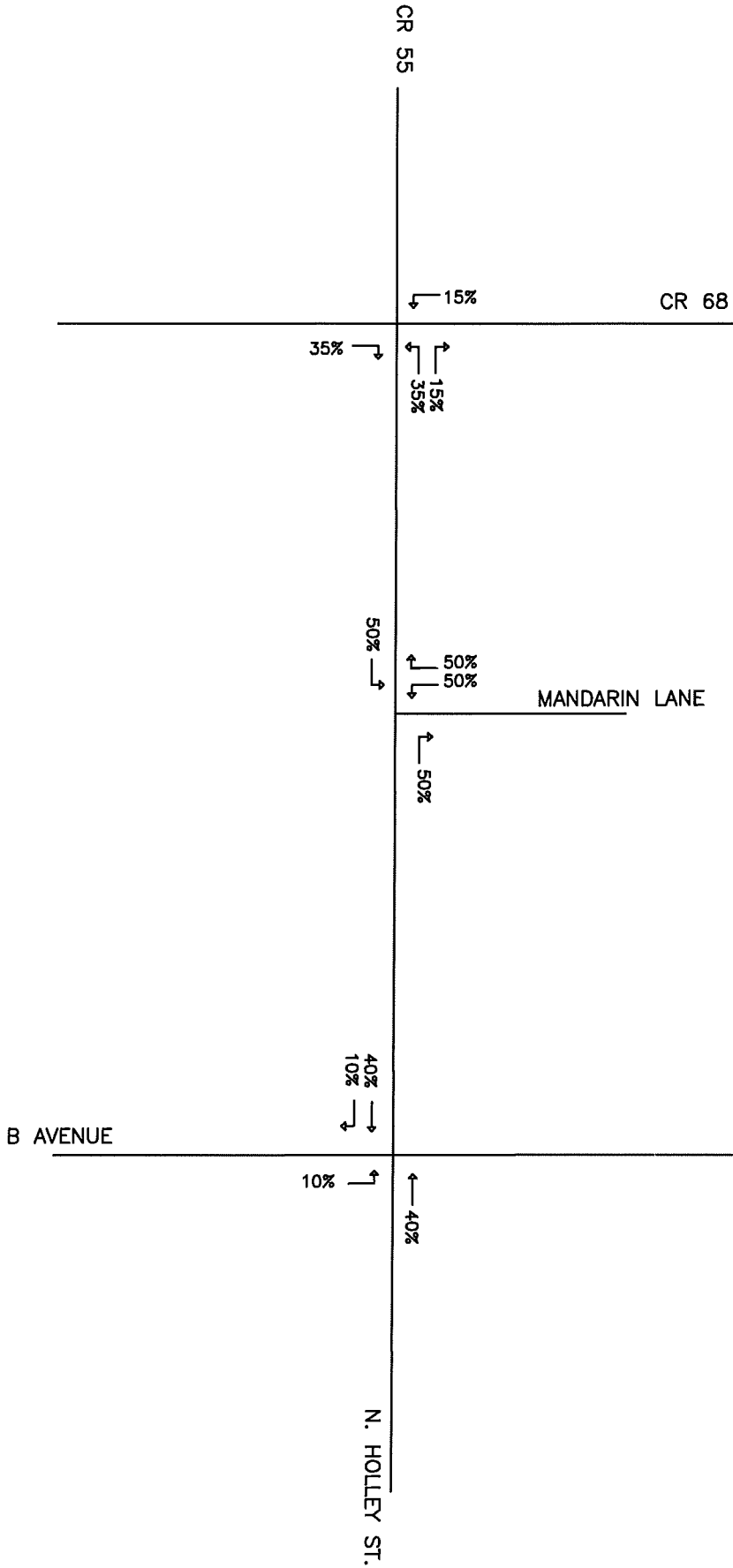
ACS

HOLLEY ST. (AZALEA GARDENS PH. 3 & 4)

ESTIMATED SITE TRIP DISTRIBUTION

FIG. 4A

** AM(PM) PEAK HOUR



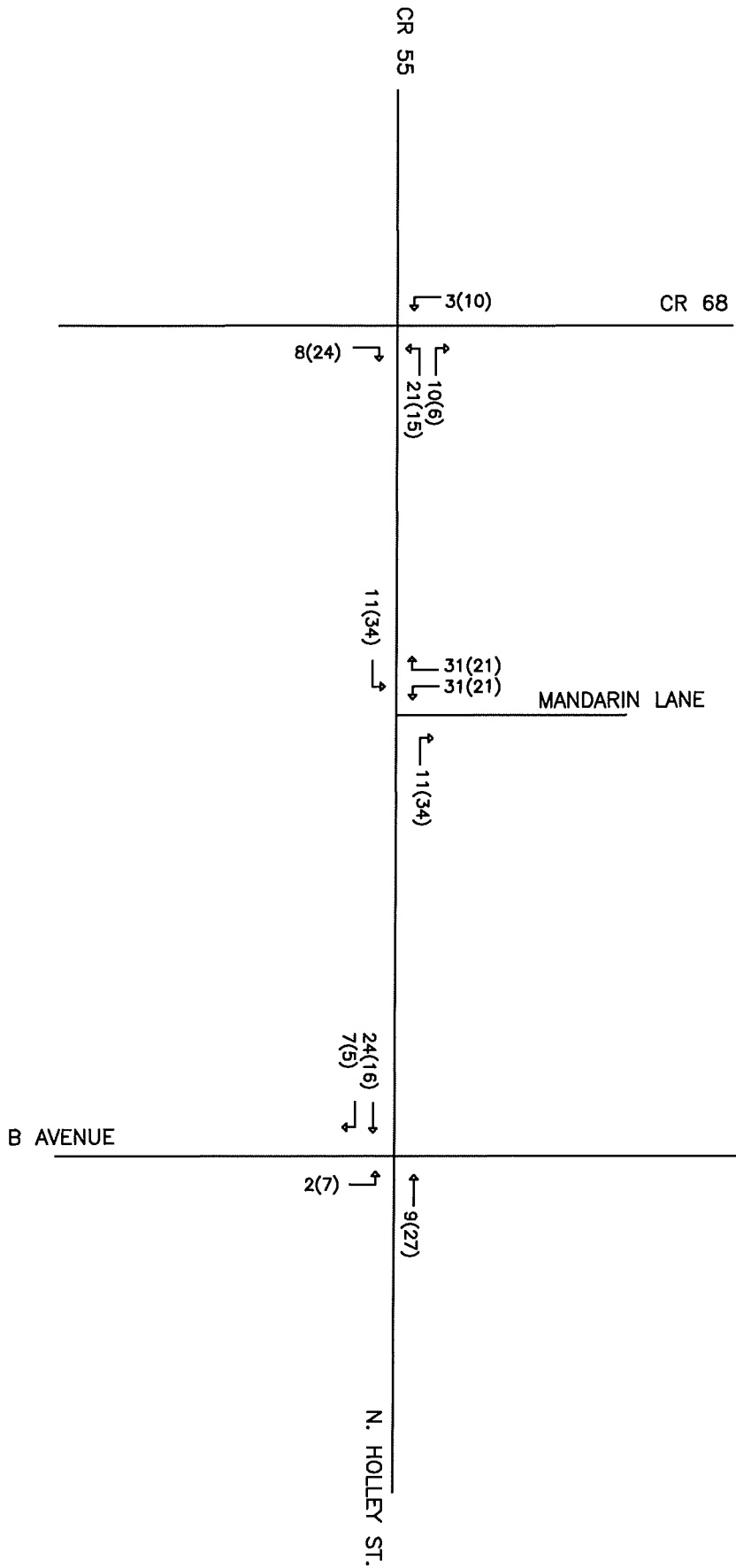
ACS

HOLLEY ST. (AZALEA GARDENS PH. 3 & 4)

2029 ESTIMATED SITE TRIPS

FIG. 4B

** AM(PM) PEAK HOUR



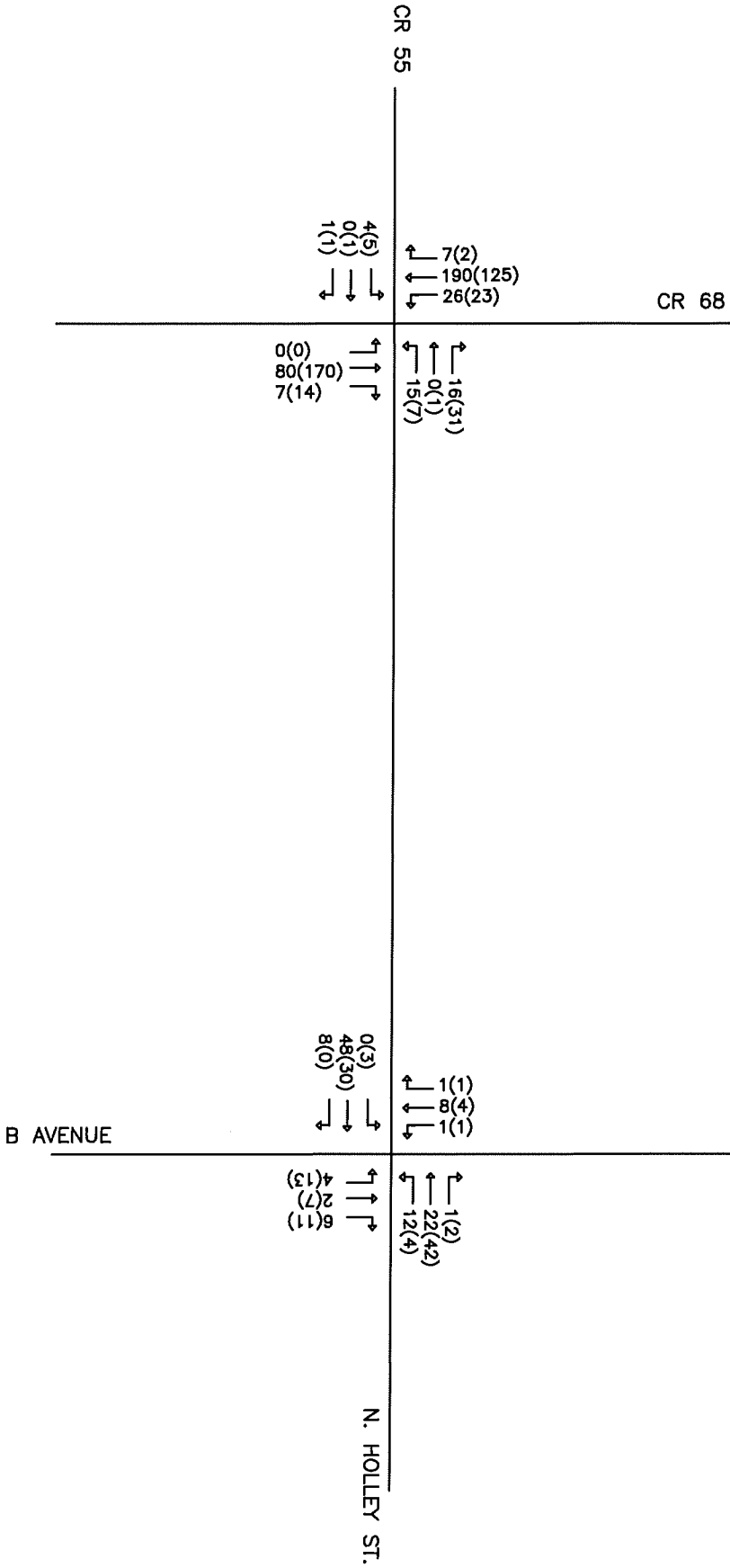
485

HOLLEY ST. (AZALEA GARDENS PH. 3 & 4)

2029 NO BUIDL/ NON-SITE TRIPS

FIG. 4C

** AM(PM) PEAK HOUR



4.4 Projected Total Peak Hour

The off-site and background traffic volumes described in section 4.3 were added to the traffic volumes generated by the development to arrive at total peak hour volumes to reflect traffic with the development at the projected buildout year. **Figure 4D** illustrates the Total Peak Hour, non-site plus full buildout of Holley Street (Azalea Gardens Ph 3 & 4).

4.5 Holley Street (Azalea Gardens Ph 3 & 4) Traffic Analysis

The No Build/ Non-Site and Total Peak volumes were analyzed using the information provided in the Highway Capacity Manual, 7th Edition. This analysis is based on current roadway geometry and features. Table 4.2 – Table 4.3 presents the results of these analyses.

Table 4.2 – 2029 No Build/ Non-Site Traffic Level-of-Service

Intersections	Peak Period	EBL	EB	EBR	WBL	WB	WBR	NBL	NB	NBR	SBL	SB	SBR
CR 68/ N. Holley Street	AM	A/0	-/-	-/-	A/7.5	A/0	-/-		B/10.3			B/11.2	
	PM	A/0	-/-	-/-	A/7.7	A/0	-/-		B/10.1			B/11.4	
N. Holley Street/ B Avenue	AM		A/7			A/7.2			A/7.3			A/7.3	
	PM		A/7.2			A/7.1			A/7.3			A/7.3	

Table 4.3 – 2029 Holley Street (Azalea Gardens Ph 3 & 4) Total Peak Hour Level-of-Service

Intersections	Peak Period	EBL	EB	EBR	WBL	WB	WBR	NBL	NB	NBR	SBL	SB	SBR
CR 68/ N. Holley Street		A/0	-/-	-/-	A/7.5	A/0	-/-		B/11.1			B/11.3	
		A/0	-/-	-/-	A/7.8	A/0	-/-		B/10.9			B/11.8	
N. Holley Street/ B Avenue			A/7.2			A/7.3			A/7.4			A/7.4	
			A/7.4			A/7.3			A/7.5			A/7.4	
N. Holley Street/ Mandarin Lane						A/9			-/-	-/-	A/7.3	A/0	
						A/9.3			-/-	-/-	A/7.4	A/0	

The analysis reflects all existing intersections and proposed access will operate at acceptable LOS ratings under the 2029 No Build and 2029 Total Peak Hour scenarios.

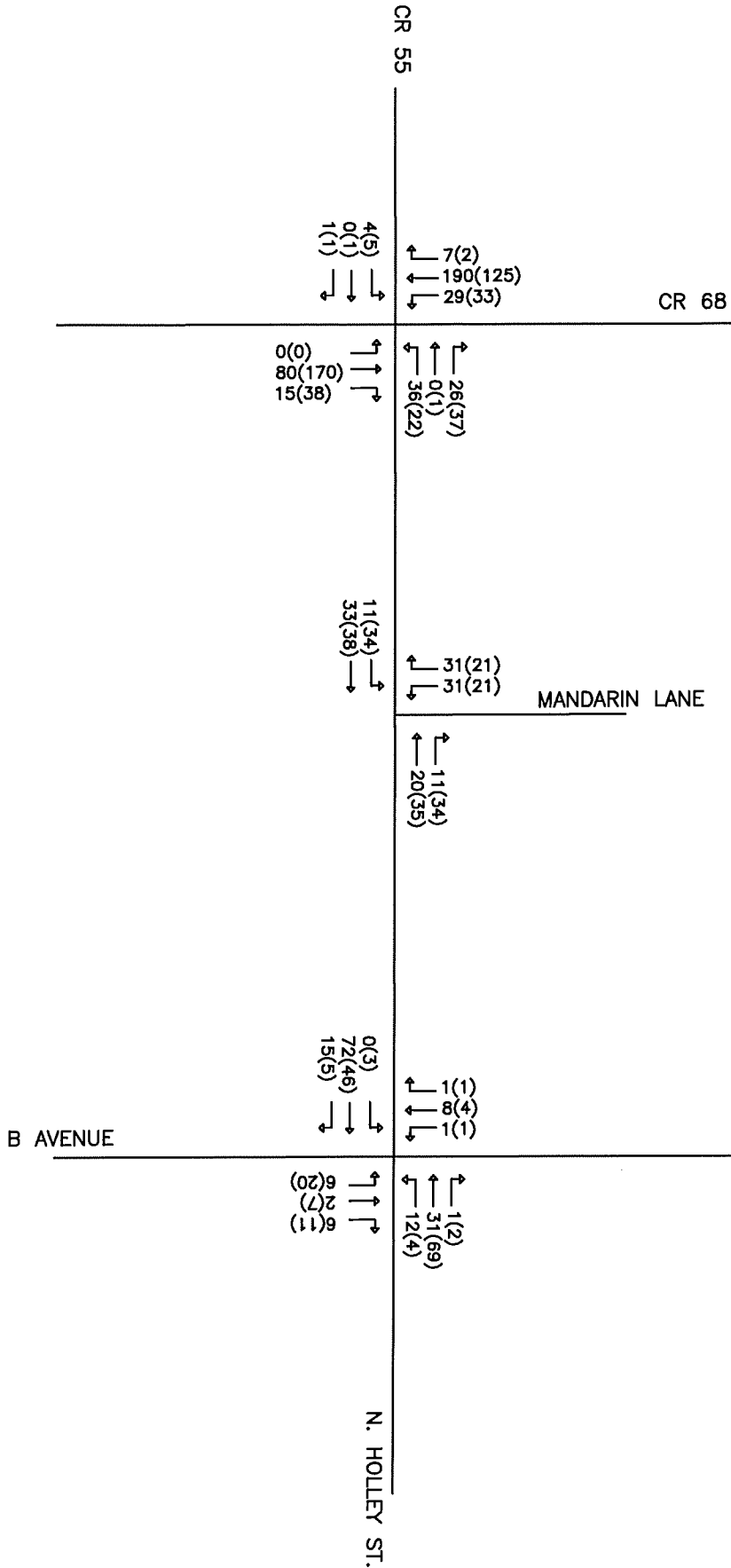
ACS

HOLLEY ST. (AZALEA GARDENS PH. 3 & 4)

2029 TOTAL PEAK HOUR

FIG. 4D

** AM(PM) PEAK HOUR



Section 5 Recommendations and Conclusions

5.1 Left and Right Turn Lane Warrants

The proposed access point and CR 68/ N. Holley St. were analyzed to determine if right and/or left turn lane warrants were met based on NCHRP 457.

The CR 68/ N. Holley St. intersection was analyzed under the 2029 AM/ PM Peak scenarios for EB and WB turn lanes. Based on the projected volumes of this report, the warrants were not satisfied for the EB right turn lane nor the WB left turn lane under either scenario.

The proposed access of Mandarin Lane to N. Holley St was analyzed for full buildout for 2029 AM/ PM Peak Hour scenarios. Under the full buildout condition, the access does not meet the warrant for the northbound right turn lane nor the southbound left turn lane.

The warrant results are included in the Appendix of the report.

5.2 Conclusions

The analysis of the data presented in this report has been used as the basis for the following conclusions.

This report analyzed the proposed access of Mandarin Lane designed as standard two-lane access connection and found it to function well as analyzed no roadway improvements required.



TO: Mr. Kenny Folsom, Chairman and
Members of the Planning Commission

DATE: May 28, 2026

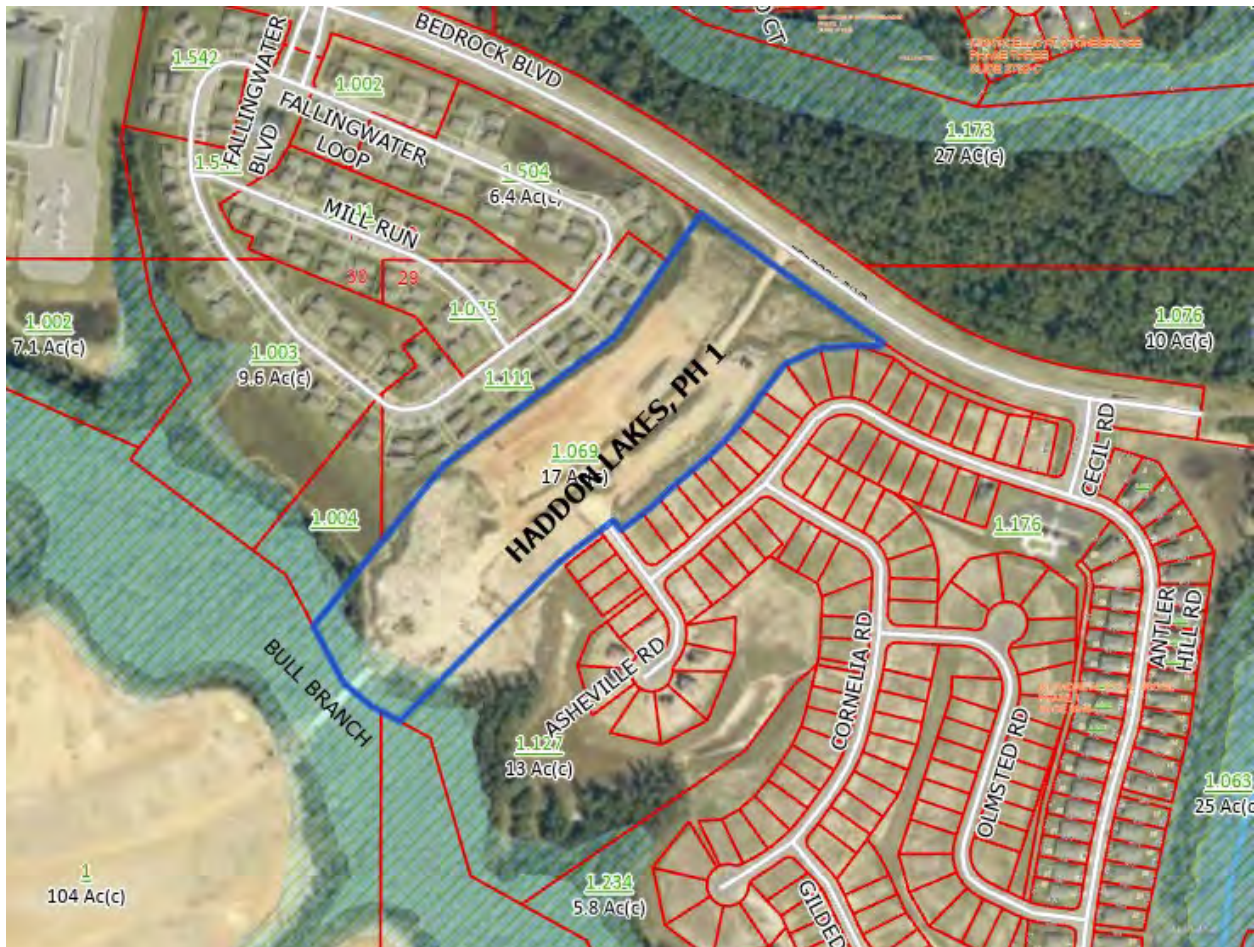
FROM: Gregory B. Smith, PE
Community Development Dir/City Engineer

REPORT DATE: 05-22-2026

SUBJECT: PL26-000010 – Hadden Lakes PH 1 – Final Plat

OVERVIEW: Trey Jinright of Jade Consulting seeks Final Plat approval for Haddon Lakes Phases 1 (16.4 Acres – 31 Lots). The subject property is located just south of Bedrock Blvd and is just southeast of the existing Fallingwater Subdivision. (PIN – 617677).

SUBJECT PROPERTY:



ADJACENT ZONING: The subject property is in the City of Loxley and is zoned Planned Unit Development (PUD). The surrounding adjacent properties are also within the Loxley City limits and are zoned PUD.

PREVIOUS ACTIONS:

PUD Approval: Stonebridge PUD Masterplan Ordinance No. 2025-15 - April 28, 2025

Preliminary Plat Approval: December 19, 2024

Preliminary Plat Extension: 24 Month Extension - January 29, 2026 (Expires Dec. 19, 2027)

ANALYSIS:

Haddon Lakes Phase 1					
Total Area	Number of Lots	Smallest Lot	Largest Lot	Common Area	Streets Linear Feet
16.40 ac	31	11,200 sf	14,638 sf	4.65 ac	1,139

Comments: Upon review the following items must be addressed.

1. Revise the signature block title shown as “Town Clerk” to “City Clerk” on the Certificate of Final Plat Approval
2. Address all deficiencies identified during the Final Inspection of the required improvements.
3. Submit originals of required Maintenance and Performance Bonds to the City Engineer.

Staff Recommends that this Final Plat application be approved subject to the items listed above and any other conditions required by the Planning Commission be addressed prior to Final Plat being submitted to the City for signatures.

Attachments

CERTIFICATE OF FINAL PLAT APPROVAL

I HEREBY CERTIFY THAT THE SUBDIVISION PLAT FOR HADDON LAKES, PHASE 1 SUBDIVISION HAS BEEN FOUND TO COMPLY WITH THE SUBDIVISION REGULATIONS OF THE CITY OF LOXLEY, ALABAMA, WITH THE EXEMPTION OF SUCH VARIANCES, IF ANY, AS ARE NOTED IN THE MINUTES OF THE PLANNING COMMISSION AND THAT IT HAS BEEN APPROVED FOR RECORDING IN THE OFFICE OF THE PROBATE JUDGE OF BALDWIN COUNTY, ALABAMA.

_____ 20____

CHAIRMAN, PLANNING COMMISSION

BUILDING OFFICIAL, CITY OF LOXLEY

TOWN CLERK, CITY OF LOXLEY

CERTIFICATE OF APPROVAL BY THE CITY ENGINEER

THE UNDERSIGNED, AS CITY ENGINEER OF THE CITY OF LOXLEY, ALABAMA, HEREBY APPROVES THE WITHIN PLAT FOR RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA, THIS THE _____ DAY OF _____, 20____

CITY ENGINEER

CERTIFICATE OF APPROVAL BY CITY OF LOXLEY – WATER:

THE UNDERSIGNED, AS AUTHORIZED BY CITY OF LOXLEY, HEREBY APPROVES THE WITH PLAT FOR RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA, THIS THE _____ DAY OF _____, 20____

AUTHORIZED REPRESENTATIVE

CERTIFICATE OF APPROVAL BY BALDWIN COUNTY SEWER SERVICE – SEWER:

THE UNDERSIGNED, AS AUTHORIZED BY BALDWIN COUNTY SEWER SERVICE, HEREBY APPROVES THE WITH PLAT FOR RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA, THIS THE _____ DAY OF _____, 20____

AUTHORIZED REPRESENTATIVE

CERTIFICATE OF APPROVAL BY RIVIERA UTILITIES – ELECTRICAL:

THE UNDERSIGNED, AS AUTHORIZED BY RIVIERA UTILITIES, HEREBY APPROVES THE WITH PLAT FOR RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA, THIS THE _____ DAY OF _____, 20____

AUTHORIZED REPRESENTATIVE

CERTIFICATE OF APPROVAL BY AT&T – COMMUNICATIONS:

THE UNDERSIGNED, AS AUTHORIZED BY AT&T, HEREBY APPROVES THE WITH PLAT FOR RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA, THIS THE _____ DAY OF _____, 20____

AUTHORIZED REPRESENTATIVE

CERTIFICATE OF APPROVAL BY BALDWIN COUNTY 911:

THE UNDERSIGNED, AS AUTHORIZED BY BALDWIN COUNTY 911, HEREBY APPROVES THE WITH PLAT FOR RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA, THIS THE _____ DAY OF _____, 20____

AUTHORIZED REPRESENTATIVE

CERTIFICATION OF DEDICATION

THIS IS TO CERTIFY THAT 68V BILTMORE 2021 LLC IS THE OWNER OF THE LAND SHOWN AND DESCRIBED HEREON, AND THAT THE SAME HAS CAUSED SAID LAND TO BE SURVEYED AND SUBDIVIDED AS INDICATED HEREON, FOR THE USES AND PURPOSES HEREIN SET FORTH, AND DO HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE DESIGN AND TITLE HEREON INDICATED; AND GRANT ALL EASEMENTS AND DEDICATE ALL STREETS, ALLEYS, WALKS, PARKS AND OTHER OPEN SPACES TO PUBLIC OR PRIVATE USE AS NOTED, TOGETHER WITH SUCH RESTRICTIONS AND COVENANTS NOTED BELOW OR ATTACHED IN A SEPARATE LEGAL DOCUMENT.

DATED THIS _____ DAY OF _____, 20____

OWNER

CERTIFICATION BY NOTARY PUBLIC

STATE OF ALABAMA COUNTY OF BALDWIN

I, _____ A NOTARY PUBLIC IN AND FOR SAID STATE AND COUNTY, HEREBY CERTIFY

THAT _____ WHOSE NAME AS _____ OF 68V BILTMORE 2021 LLC IS SIGNED TO THE FOREGOING INSTRUMENT, AND WHO IS KNOWN TO ME, ACKNOWLEDGED BEFORE ME ON THIS DAY, THAT BEING INFORMED OF THE CONTENTS OF THE INSTRUMENT, AND AS SUCH OFFICER AND WITH FULL AUTHORITY, EXECUTED THE SAME VOLUNTARILY FOR AND AS THE ACT OF SAID CORPORATION.

GIVEN UNDER MY HAND AND NOTORIAL SEAL THIS _____ DAY OF _____, 20____

NOTARY PUBLIC

SURVEYOR’S CERTIFICATE

STATE OF ALABAMA COUNTY OF BALDWIN

I, MARK A. WATTIER, A LICENSED SURVEYOR IN THE STATE OF ALABAMA, HEREBY CERTIFY THAT I HAVE SURVEYED THE PROPERTY OF 68V HADDON LAKES 2025, LLC SITUATED IN BALDWIN COUNTY, ALABAMA AND DESCRIBED AS FOLLOWS:

COMMENCING AT A 3" CAPPED IRON PIPE AT THE SOUTHWEST CORNER OF SECTION 29, TOWNSHIP 4 SOUTH, RANGE 3 EAST, BALDWIN COUNTY, ALABAMA; THENCE RUN NORTH 00°-03'-28" WEST ALONG THE WEST LINE OF SAID SECTION 29 A DISTANCE OF 4,049.71 FEET TO A CAPPED REBAR (WATTIER) ON THE SOUTHWEST LINE OF LOT 2, BILTMORE – FALLINGWATER SUBDIVISION, AS RECORDED ON SLIDES 2894-A, B, & C OF THE RECORDS IN THE OFFICE OF THE JUDGE OF PROBATE, BALDWIN COUNTY, ALABAMA; THENCE RUN SOUTH 61°-34'-08" EAST ALONG SAID SOUTHWEST LINE A DISTANCE OF 83.71 FEET TO A CAPPED REBAR (DEWBERRY) AT THE WESTERNMOST CORNER OF COMMON AREA 1, BILTMORE AT STONEBRIDGE, PHASE 2, AS RECORDED ON SLIDE 2993-A OF THE RECORDS IN THE OFFICE OF THE JUDGE OF PROBATE, BALDWIN COUNTY, ALABAMA; THENCE RUN NORTH 44°-51'-18" EAST ALONG THE NORTHWEST LINE OF SAID COMMON AREA 1 A DISTANCE OF 73.28 FEET TO THE POINT OF BEGINNING OF THE FOLLOWING DESCRIBED PARCEL: THENCE RUN NORTH 45°-08'-33" WEST A DISTANCE OF 374.12 FEET TO THE NORTHWEST LINE OF SAID LOT 2; THENCE RUN NORTH 39°-02'-15" EAST ALONG THE NORTHWEST LINE OF SAID LOT 2 A DISTANCE OF 541.85 FEET TO A CAPPED REBAR (POLY); THENCE RUN NORTH 53°-01'-06" EAST ALONG SAID NORTHWEST LINE A DISTANCE OF 609.81 FEET TO A CAPPED REBAR (DEWBERRY); THENCE RUN NORTH 35°-23'-32" EAST ALONG SAID NORTHWEST LINE A DISTANCE OF 432.44 TO A CAPPED REBAR (DEWBERRY) ON THE SOUTH RIGHT-OF-WAY LINE OF BEDROCK BOULEVARD (150' R/W), SAID POINT BEING THE NORTHERNMOST CORNER OF SAID LOT 2; THENCE RUN SOUTHEASTWARDLY ALONG THE NORTHEAST LINE OF SAID LOT 2, ALONG SAID SOUTH RIGHT-OF-WAY LINE AND ALONG THE ARC OF A CURVE TO THE RIGHT (HAVING A DELTA OF 00°-35'-17", A RADIUS OF 3,850.00 FEET, A CHORD BEARING OF SOUTH 55°-04'-59" EAST AND A CHORD DISTANCE OF 39.52 FEET) AN ARC DISTANCE OF 39.52 FEET TO A CAPPED REBAR (DEWBERRY); THENCE RUN SOUTH 54°-36'-48" EAST ALONG SAID NORTH LINE AND ALONG SAID SOUTH RIGHT-OF-WAY LINE A DISTANCE OF 580.88 FEET TO A CAPPED REBAR (WATTIER); THENCE RUN SOUTHEASTWARDLY ALONG SAID NORTH LINE, ALONG SAID SOUTH RIGHT-OF-WAY LINE AND ALONG THE ARC OF A CURVE TO THE LEFT (HAVING A DELTA OF 00°-41'-25", A RADIUS OF 1,400.00 FEET, A CHORD BEARING OF SOUTH 54°-56'-38" EAST AND A CHORD DISTANCE OF 16.87 FEET) AN ARC DISTANCE OF 16.87 FEET TO A CAPPED REBAR (DEWBERRY) AT THE NORTHERNMOST CORNER OF BILTMORE AT STONEBRIDGE, PHASE 3, AS RECORDED ON SLIDE 2993-B OF THE RECORDS IN THE OFFICE OF THE JUDGE OF PROBATE, BALDWIN COUNTY, ALABAMA; THENCE RUN SOUTH 34°-46'-14" WEST ALONG THE NORTHWEST LINE OF SAID PHASE 3 A DISTANCE OF 15.11 FEET TO A CAPPED REBAR (DEWBERRY); THENCE RUN NORTH 87°-33'-44" WEST ALONG SAID NORTHWEST LINE A DISTANCE OF 61.05 FEET TO A CAPPED REBAR (DEWBERRY); THENCE RUN SOUTH 86°-33'-00" WEST ALONG SAID NORTHWEST LINE A DISTANCE OF 109.73 FEET TO A CAPPED REBAR (DEWBERRY); THENCE RUN SOUTH 65°-17'-31" WEST ALONG SAID NORTHWEST LINE A DISTANCE OF 109.65 FEET TO A CAPPED REBAR (DEWBERRY); THENCE RUN SOUTH 38°-46'-10" WEST ALONG SAID NORTHWEST LINE A DISTANCE OF 101.70 FEET TO A CAPPED REBAR (DEWBERRY); THENCE RUN SOUTH 35°-38'-58" WEST ALONG SAID NORTHWEST LINE A DISTANCE OF 61.47 FEET TO A CAPPED REBAR (DEWBERRY); THENCE RUN SOUTHWESTWARDLY ALONG SAID NORTHWEST LINE AND ALONG THE ARC OF A CURVE TO THE RIGHT (HAVING A DELTA OF 14°-18'-49", A RADIUS OF 841.81 FEET, A CHORD BEARING OF SOUTH 42°-47'-51" WEST AND A CHORD DISTANCE OF 209.75 FEET) AN ARC DISTANCE OF 210.30 FEET TO A CAPPED REBAR (DEWBERRY); THENCE RUN SOUTH 50°-01'-34" WEST ALONG SAID NORTHWEST LINE A DISTANCE OF 89.57 FEET TO A CAPPED REBAR (DEWBERRY); THENCE RUN SOUTHWESTWARDLY ALONG SAID NORTHWEST LINE AND ALONG THE ARC OF A CURVE TO THE LEFT (HAVING A DELTA OF 03°-54'-59", A RADIUS OF 415.00 FEET, A CHORD BEARING OF SOUTH 48°-09'-41" WEST AND A CHORD DISTANCE OF 28.36 FEET) AN ARC DISTANCE OF 28.37 FEET TO A CAPPED REBAR (DEWBERRY); THENCE RUN SOUTH 46°-05'-50" WEST ALONG SAID NORTHWEST LINE A DISTANCE OF 65.77 FEET TO A CAPPED REBAR (DEWBERRY); THENCE RUN SOUTHWESTWARDLY ALONG SAID NORTHWEST LINE AND ALONG THE ARC OF A CURVE TO THE RIGHT (HAVING DELTA OF 06°-55'-18", A RADIUS OF 85.00 FEET, A CHORD BEARING OF SOUTH 49°-17'-43" WEST AND A CHORD DISTANCE OF 10.26 FEET) AN ARC DISTANCE OF 10.27 FEET TO A CAPPED REBAR (DEWBERRY); THENCE RUN SOUTH 53°-06'-31" WEST ALONG SAID NORTHWEST LINE AND ALONG THE NORTHWEST LINE OF BILTMORE AT STONEBRIDGE, PHASE 2, AS RECORDED ON SLIDE 2993-A OF THE RECORDS IN THE OFFICE OF THE JUDGE OF PROBATE, BALDWIN COUNTY, ALABAMA A DISTANCE OF 106.66 FEET TO A CAPPED REBAR (DEWBERRY) ON THE NORTHEAST RIGHT-OF-WAY LINE OF ASHEVILLE ROAD (50' R/W); THENCE RUN NORTH 36°-51'-45" WEST ALONG SAID NORTHWEST LINE AND ALONG THE NORTHEAST RIGHT-OF-WAY LINE OF SAID ASHEVILLE ROAD A DISTANCE OF 34.53 FEET TO A CAPPED REBAR (WATTIER); THENCE RUN SOUTH 52°-57'-23" WEST ALONG SAID NORTHWEST LINE OF SAID PHASE 2 A DISTANCE OF 138.21 FEET TO A CAPPED REBAR (DEWBERRY); THENCE RUN SOUTHWESTWARDLY ALONG SAID NORTHWEST LINE AND ALONG THE ARC OF A CURVE TO THE LEFT (HAVING A DELTA OF 08°-10'-33", A RADIUS OF 830.00 FEET, A CHORD BEARING OF SOUTH 48°-58'-58" WEST AND A CHORD DISTANCE OF 118.34 FEET) AN ARC DISTANCE OF 118.44 FEET TO A CAPPED REBAR (DEWBERRY); THENCE RUN SOUTH 44°-51'-18" WEST ALONG SAID NORTHWEST LINE A DISTANCE OF 513.40 FEET TO THE POINT OF BEGINNING. THE DESCRIBED PARCEL CONTAINS 16.40 ACRES, MORE OR LESS

AND THAT THE PLAT OR MAP CONTAINED HEREON IS A TRUE AND CORRECT MAP SHOWING THE SUBDIVISION INTO WHICH THE PROPERTY DESCRIBED IS DIVIDED, GIVING THE LENGTH AND BEARINGS OF THE BOUNDARIES OF EACH LOT AND EASEMENT AND ITS NUMBER, AND SHOWING THE STREETS, ALLEYS AND PUBLIC GROUNDS, AND GIVING THE BEARINGS, LENGTH, WIDTH AND NAMES OF THE STREETS; SAID MAP FURTHER SHOWS THE RELATION OF THE LAND SO PLATTED TO THE GOVERNMENT SURVEY, AND THAT PERMANENT MONUMENTS HAVE BEEN PLACED AT POINTS MARKED THUS [C] AS HEREON SHOWN. I FURTHER CERTIFY THAT ALL PARTS OF THIS SURVEY AND DRAWING HAVE BEEN COMPLETED IN ACCORDANCE WITH THE CURRENT REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR SURVEYING IN THE STATE OF ALABAMA TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF.

WITNESS MY HAND THIS THE _____ DAY OF _____, 20____

SURVEYOR ALABAMA LICENSE #20364

FLOOD CERTIFICATE:

THE PROPERTY DESCRIBED HEREON IS SHOWN ON THE FEMA FLOOD INSURANCE RATE MAP NO. 01003C0541 M, DATED 04/19/2019, AND IS SHOWN TO BE IN FLOOD ZONE "X-UNSHADED" & "A".

NOTES:

- 1. FOR THE LOCATION OF ALL UTILITIES, SEE CONSTRUCTION PLANS.
2. STORM WATER DETENTION AREAS ARE NOT THE RESPONSIBILITY OF BALDWIN COUNTY OR THE CITY OF LOXLEY TO MAINTAIN.
3. CAPPED REBARS (WATTIER) HAVE BEEN SET AT ALL CORNERS UNLESS OTHERWISE NOTED.
4. THERE IS A DEDICATED DRAINAGE, UTILITY AND MAINTENANCE EASEMENT OVER THE ENTIRETY OF COMMON AREAS 1A, 1B, 1C, & 1D.
5. THIS COMMUNITY WILL BE PART OF STONEBRIDGE II OWNERS ASSOCIATION, INC, WHICH IS AN EXISTING HOME OWNERS ASSOCIATION (HOA). STONEBRIDGE II OWNERS ASSOCIATION, INC. IS REQUIRED TO MAINTAIN ANY AND ALL STORM WATER FACILITIES AND STRUCTURES LOCATED OUTSIDE OF THE PUBLICLY ACCEPTED RIGHT-OF-WAY AND IS RESPONSIBLE FOR COMMON AREA MAINTENANCE.
6. STONEBRIDGE II OWNERS ASSOCIATION, INC. (THE HOA) WILL BE RESPONSIBLE FOR THE MAINTENANCE, IF APPLICABLE, AND ENERGY COST OF THE STREET LIGHTS.
7. RIGHTS-OF-WAY WITHIN THE DEVELOPMENT WILL BE PUBLIC RIGHTS-OF-WAY.
8. THIS SUBDIVISION AND ALL ADJACENT PARCELS ARE PART OF STONEBRIDGE, A PLANNED UNIT DEVELOPMENT. THESE PARCELS ARE ALL ZONED PUD IN THE CITY OF LOXLEY.
9. THERE IS DEDICATED HERewith A 10 FOOT UTILITY EASEMENT ON ALL LOT LINES ADJACENT TO RIGHT-OF-WAY (UNLESS OTHERWISE NOTED) AND A 10 FOOT (5 FOOT EACH SIDE) UTILITY EASEMENT ALONG ALL SIDE LOT LINES.

FINAL PLAT CERTIFICATION

STATE OF ALABAMA COUNTY OF BALDWIN

THE UNDERSIGNED, MARK A. WATTIER, REGISTERED LAND SURVEYOR, LICENSE NO. PLS 20364, STATE OF ALABAMA, AND 68V HADDON LAKES 2025, LLC, OWNER, HEREBY CERTIFY THAT THIS PLAT OR MAP WAS MADE PURSUANT TO A SURVEY MADE BY SAID SURVEYOR AND THAT SAID SURVEY AND THIS PLAT OR MAP WERE MADE AT THE INSTANCE OF SAID OWNER, THAT THIS PLAT OR MAP IS A TRUE AND CORRECT MAP OF LANDS SHOWN THEREIN AND KNOWN AS HADDON LAKES, PHASE 1 SHOWING THE SUBDIVISIONS INTO WHICH IT IS PROPOSED TO DIVIDE SAID LANDS, GIVING THE LENGTH, AND ANGLES OF THE BOUNDARIES OF EACH LOT AND ITS NUMBER, SHOWING THE STREETS, ALLEYS, AND PUBLIC GROUNDS, GIVING THE LENGTH, WIDTH AND NAME OF EACH STREET, AS WELL AS THE NUMBER OF EACH LOT AND BLOCK, AND SHOWING THE RELATIONS OF THE LANDS TO THE GOVERNMENT SURVEY; AND THAT IRON PINS HAVE BEEN INSTALLED AT ALL LOT CORNERS AND CURVE POINTS AS SHOWN AND DESIGNATED ON SAID PLAT OR MAP; SAID OWNER ALSO CERTIFIES THAT IT IS THE OWNER OF SAID LANDS AND THAT MORTGAGES ARE HELD BY D.R. HORTON, INC. – BIRMINGHAM AND LOT HV VII, LLC, MORTGAGEE(S), WHO HEREINUNDER JOIN IN THIS CERTIFICATION ON THE RESPECTIVE DATES INDICATED HEREON.

SURVEYOR:

MARK A. WATTIER – PLS 20364

DATE

STATE OF ALABAMA COUNTY OF MOBILE

I, _____ AS NOTARY PUBLIC, IN AND FOR SAID COUNTY AND STATE, DO HEREBY CERTIFY THAT MARK A. WATTIER, WHOSE NAME IS SIGNED TO THE FOREGOING CERTIFICATE AS A SURVEYOR, WHO IS KNOWN TO ME, ACKNOWLEDGED BEFORE ME, ON THIS DATE THAT AFTER HAVING BEEN DULY INFORMED OF THE CONTENTS OF SAID CERTIFICATE, HE EXECUTED SAME VOLUNTARILY AS SUCH INDIVIDUAL WITH FULL AUTHORITY THEREFOR.

GIVEN UNDER MY HAND AND SEAL THIS _____ DAY OF _____, 20____

NOTARY PUBLIC

OWNER: 68V HADDON LAKES 2025, LLC

SIGNATURE

DATE

BY:

PRINTED NAME

TITLE

STATE OF ALABAMA COUNTY OF _____

I, _____ AS NOTARY PUBLIC, IN AND FOR SAID COUNTY AND STATE, DO HEREBY CERTIFY THAT _____ WHOSE NAME

IS SIGNED TO SAME AS _____ OF 68V HADDON LAKES 2025, LLC, THE OWNER, WHO IS KNOWN TO ME, ACKNOWLEDGED BEFORE ME, ON THIS DATE THAT AFTER HAVING BEEN DULY INFORMED OF THE CONTENTS OF SAID CERTIFICATE, (S)HE EXECUTED SAME VOLUNTARILY AS SUCH OFFICER WITH FULL AUTHORITY THEREFORE.

GIVEN UNDER MY HAND AND SEAL THIS _____ DAY OF _____, 20____

NOTARY PUBLIC

MORTGAGEE:

D.R. HORTON, INC. – BIRMINGHAM

SIGNATURE

DATE

BY:

PRINTED NAME

TITLE

STATE OF ALABAMA COUNTY OF _____

I, _____ AS NOTARY PUBLIC, IN AND FOR SAID COUNTY AND STATE, DO HEREBY CERTIFY THAT _____ WHOSE NAME

IS SIGNED TO SAME AS _____ OF D.R. HORTON, INC. – BIRMINGHAM, MORTGAGEE, WHO IS KNOWN TO ME, ACKNOWLEDGED BEFORE ME, ON THIS DATE THAT AFTER HAVING BEEN DULY INFORMED OF THE CONTENTS OF SAID CERTIFICATE, (S)HE EXECUTED SAME VOLUNTARILY AS SUCH OFFICER WITH FULL AUTHORITY THEREFORE.

GIVEN UNDER MY HAND AND SEAL THIS _____ DAY OF _____, 20____

NOTARY PUBLIC

MORTGAGEE:

LOT HV VII, LLC

SIGNATURE

DATE

BY:

PRINTED NAME

TITLE

STATE OF _____

COUNTY OF _____

I, _____ AS NOTARY PUBLIC, IN AND FOR SAID COUNTY AND STATE, DO HEREBY CERTIFY THAT _____ WHOSE NAME

IS SIGNED TO SAME AS _____ OF LOT HV VII, LLC, MORTGAGEE, WHO IS KNOWN TO ME, ACKNOWLEDGED BEFORE ME, ON THIS DATE THAT AFTER HAVING BEEN DULY INFORMED OF THE CONTENTS OF SAID CERTIFICATE, (S)HE EXECUTED SAME VOLUNTARILY AS SUCH OFFICER WITH FULL AUTHORITY THEREFORE.

GIVEN UNDER MY HAND AND SEAL THIS _____ DAY OF _____, 20____

NOTARY PUBLIC

HADDON LAKES, PHASE 1 PLAT OF SUBDIVISION

APRIL 26, 2026

WATTIER SURVEYING, INC. PROFESSIONAL LAND SURVEYORS 4318 Downtowner Loop N., Suite H Mobile, Alabama 36609 251-342-2640

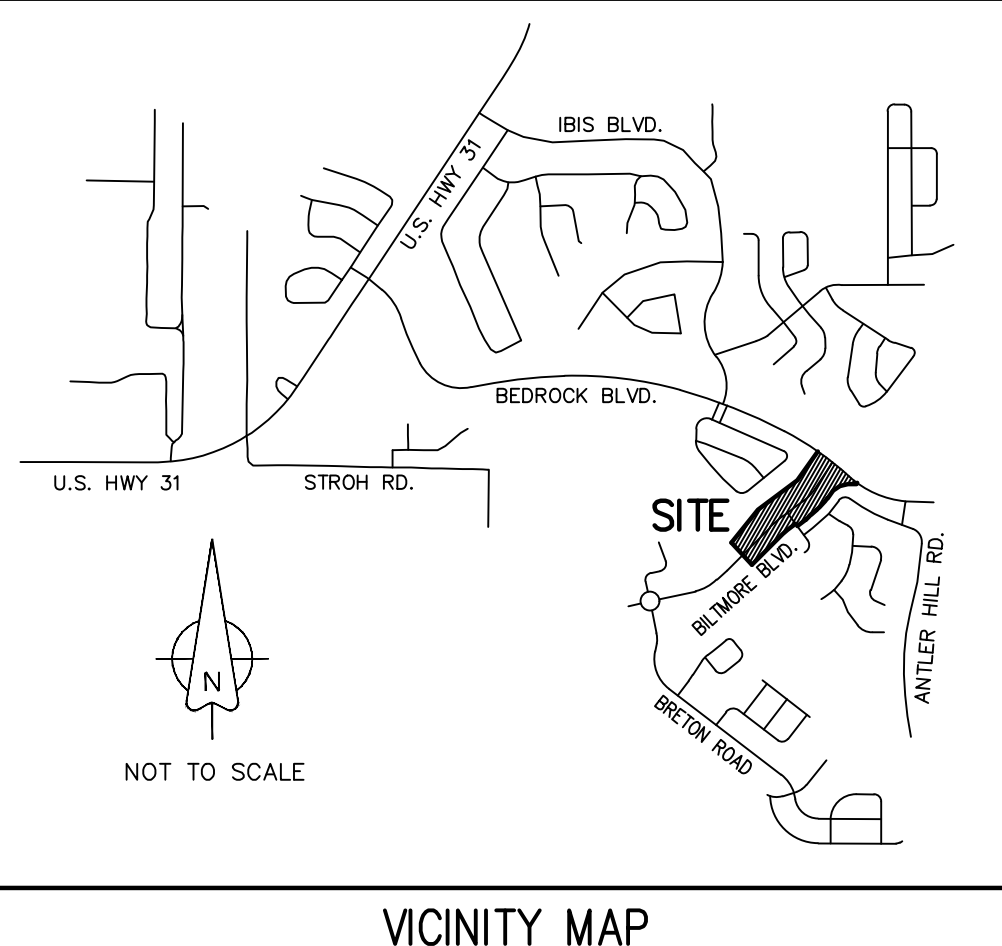
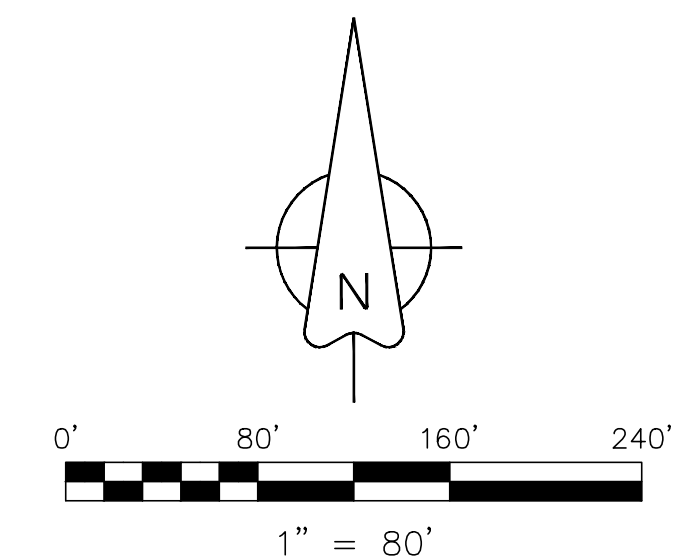
CURVE DATA

CURVE	DELTA ANGLE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	0°35'17"	3,850.00'	39.52'	S55°04'59"E	39.52'
C2	0°41'25"	1,400.00'	16.87'	S54°56'38"E	16.87'
C3	19°31'34"	1,400.00'	477.11'	S65°03'07"E	474.81'
C4	14°23'24"	835.00'	209.71'	S42°49'42"W	209.16'
C5	3°54'42"	415.00'	28.33'	S48°04'03"W	28.33'
C6	6°54'42"	85.00'	10.25'	S49°34'03"W	10.25'
C7	17°37'43"	1,000.00'	307.68'	S44°12'33"W	306.46'
C8	8°09'57"	1,000.00'	142.52'	S48°56'26"W	142.40'
C9	9°00'00"	30.00'	47.12'	S08°01'24"W	42.43'
C10	9°00'00"	30.00'	47.12'	S81°58'36"E	42.43'
C11	1°49'48"	970.00'	30.98'	S36°18'35"W	30.98'
C12	5°33'21"	970.00'	94.06'	S40°00'10"W	94.02'
C13	5°33'21"	970.00'	94.06'	S45°33'31"W	94.02'
C14	4°41'12"	970.00'	79.35'	S50°40'48"W	79.32'
C15	1°25'51"	1,030.00'	25.72'	S36°06'37"W	25.72'
C16	4°20'41"	1,030.00'	78.10'	S38°59'54"W	78.09'
C17	4°20'41"	1,030.00'	78.10'	S43°20'35"W	78.09'
C18	4°20'41"	1,030.00'	78.10'	S47°41'15"W	78.09'
C19	3°09'49"	1,030.00'	56.87'	S51°26'30"W	56.86'
C20	3°56'26"	1,030.00'	70.84'	S51°03'12"W	70.82'
C21	4°13'32"	1,030.00'	75.96'	S46°58'13"W	75.94'
C22	0°47'24"	970.00'	13.38'	S52°37'42"W	13.38'
C23	5°21'40"	970.00'	90.76'	S49°33'10"W	90.73'
C24	2°00'53"	970.00'	34.11'	S45°51'54"W	34.11'
C25	14°18'49"	841.81'	210.30'	S42°47'51"W	209.75'
C26	3°54'59"	415.00'	28.37'	S48°09'41"W	28.36'
C27	6°55'18"	85.00'	10.27'	S49°17'43"W	10.26'
C28	8°10'33"	830.00'	118.44'	S48°58'58"W	118.34'
C29	0°47'55"	830.00'	11.57'	S52°40'17"W	11.57'
C30	5°21'43"	830.00'	77.67'	S49°35'29"W	77.65'
C31	2°00'56"	830.00'	29.20'	S45°54'09"W	29.19'

AREA DATA

LOT	SQ. FT.	AC.
LOT 1	13,080 SF	0.300 AC
LOT 2	13,549 SF	0.311 AC
LOT 3	13,938 SF	0.320 AC
LOT 4	14,638 SF	0.336 AC
LOT 5	14,638 SF	0.336 AC
LOT 6	14,480 SF	0.332 AC
LOT 7	13,600 SF	0.312 AC
LOT 8	13,600 SF	0.312 AC
LOT 9	13,600 SF	0.312 AC
LOT 10	13,600 SF	0.312 AC
LOT 11	14,252 SF	0.327 AC
LOT 12	14,301 SF	0.328 AC
LOT 13	13,600 SF	0.312 AC
LOT 14	13,600 SF	0.312 AC
LOT 15	13,600 SF	0.312 AC
LOT 16	13,600 SF	0.312 AC
LOT 17	11,480 SF	0.264 AC
LOT 18	11,949 SF	0.274 AC
LOT 19	11,346 SF	0.261 AC
LOT 20	11,628 SF	0.267 AC
LOT 21	11,628 SF	0.267 AC
LOT 22	11,628 SF	0.267 AC
LOT 23	11,509 SF	0.264 AC
LOT 24	11,200 SF	0.257 AC
LOT 25	13,777 SF	0.316 AC
LOT 26	13,882 SF	0.319 AC
LOT 27	11,779 SF	0.270 AC
LOT 28	11,407 SF	0.262 AC
LOT 29	11,186 SF	0.257 AC
LOT 30	11,186 SF	0.257 AC
LOT 31	11,186 SF	0.257 AC
C.A. 1A	118,162 SF	2.713 AC
C.A. 1B	788 SF	0.018 AC
C.A. 1C	53,226 SF	1.199 AC
C.A. 1D	31,248 SF	0.717 AC

FALLING WATER LLC
707 BELROSE AVENUE
DAPHNE, AL 36526
PARCEL 05-33-04-20-0-000-001.504
PARCEL 05-33-09-29-0-000-001.111
PARCEL 05-33-09-30-0-000-001.004



LEGEND

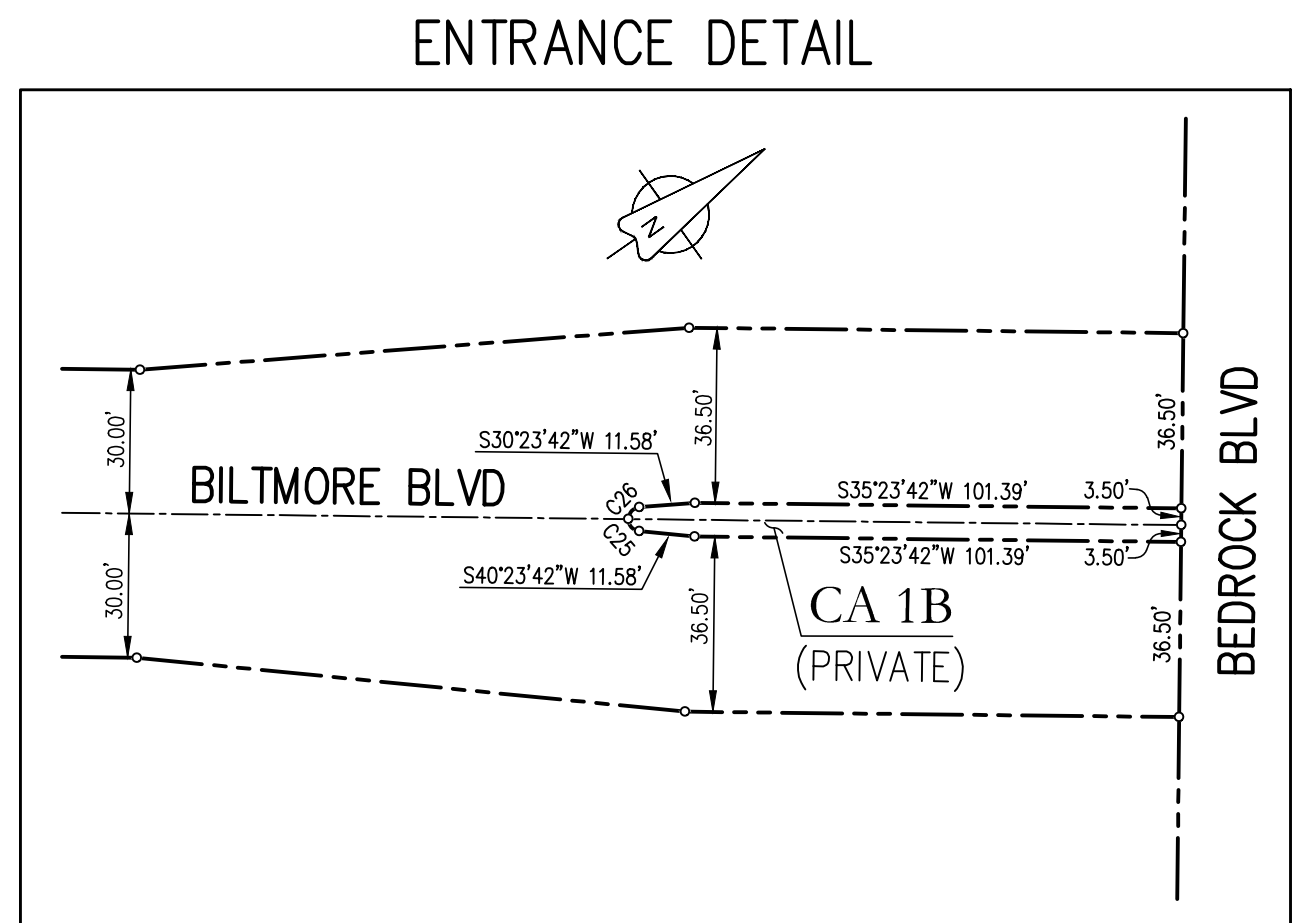
- 3" O/P 3" CAPPED IRON PIPE (NO ID)
- CRF(1) CAPPED REBAR FOUND (DEWBERRY)
- CRF(2) CAPPED REBAR FOUND (POLY)
- CRF(3) CAPPED REBAR FOUND (WATTIER)
- CA 1C COMMON AREA
- WL WETLAND BOUNDARY LINE
- WLB 30' WETLAND BUFFER LINE
- FLOOD FLOOD ZONE DELINEATION LINE

BILTMORE AT STONEBRIDGE PHASE 2 & 3 ADJACENT OWNERS

- COMMON AREA 1, PHASE 2
STONEBRIDGE II OWNERS ASSOCIATION, INC.
29891 WOODROW LN, STE 300
SPANISH FORT, AL 36527
PARCEL 05-33-09-29-0-000-001.127
- COMMON AREA 1, PHASE 3
STONEBRIDGE II OWNERS ASSOCIATION, INC.
29891 WOODROW LN, STE 300
SPANISH FORT, AL 36527
PARCEL 05-33-09-29-0-000-001.174
- LOT 62
D. R. HORTON INC - BIRMINGHAM
22500 TOWN CENTER AVE STE 300
SPANISH FORT, AL 36527
PARCEL 05-33-09-29-0-000-001.113
- LOT 75
D. R. HORTON INC - BIRMINGHAM
22500 TOWN CENTER AVE STE 300
SPANISH FORT, AL 36527
PARCEL 05-33-09-29-0-000-001.126
- LOT 76
D. R. HORTON INC - BIRMINGHAM
22500 TOWN CENTER AVE STE 300
SPANISH FORT, AL 36527
PARCEL 05-33-09-29-0-000-001.128
- LOT 77
D. R. HORTON INC - BIRMINGHAM
22500 TOWN CENTER AVE STE 300
SPANISH FORT, AL 36527
PARCEL 05-33-09-29-0-000-001.129
- LOT 78
D. R. HORTON INC - BIRMINGHAM
22500 TOWN CENTER AVE STE 300
SPANISH FORT, AL 36527
PARCEL 05-33-09-29-0-000-001.130
- LOT 79
D. R. HORTON INC - BIRMINGHAM
22500 TOWN CENTER AVE STE 300
SPANISH FORT, AL 36527
PARCEL 05-33-09-29-0-000-001.131
- LOT 80
D. R. HORTON INC - BIRMINGHAM
22500 TOWN CENTER AVE STE 300
SPANISH FORT, AL 36527
PARCEL 05-33-09-29-0-000-001.132
- LOT 81
D. R. HORTON INC - BIRMINGHAM
22500 TOWN CENTER AVE STE 300
SPANISH FORT, AL 36527
PARCEL 05-33-09-29-0-000-001.133
- LOT 82
D. R. HORTON INC - BIRMINGHAM
22500 TOWN CENTER AVE STE 300
SPANISH FORT, AL 36527
PARCEL 05-33-09-29-0-000-001.134
- LOT 83
D. R. HORTON INC - BIRMINGHAM
22500 TOWN CENTER AVE STE 300
SPANISH FORT, AL 36527
PARCEL 05-33-09-29-0-000-001.135
- LOT 84
D. R. HORTON INC - BIRMINGHAM
22500 TOWN CENTER AVE STE 300
SPANISH FORT, AL 36527
PARCEL 05-33-09-29-0-000-001.136
- LOT 85
D. R. HORTON INC - BIRMINGHAM
22500 TOWN CENTER AVE STE 300
SPANISH FORT, AL 36527
PARCEL 05-33-09-29-0-000-001.137
- LOT 86
D. R. HORTON INC - BIRMINGHAM
22500 TOWN CENTER AVE STE 300
SPANISH FORT, AL 36527
PARCEL 05-33-09-29-0-000-001.138
- LOT 87
D. R. HORTON INC - BIRMINGHAM
22500 TOWN CENTER AVE STE 300
SPANISH FORT, AL 36527
PARCEL 05-33-09-29-0-000-001.139

LINE DATA

LINE	BEARING	DISTANCE
LT	N36°51'45"W	34.53'



OWNER:
68V HADDON LAKES 2025, LLC
707 BELROSE AVENUE
DAPHNE, AL 36526

ENGINEER:
JADE CONSULTING
P.O. BOX 1929
FAIRHOPE, AL 36533
251-928-3443

SURVEYOR:
WATTIER SURVEYING, INC.
4318 DOWNTOWNER LOOP NORTH, SUITE H
MOBILE, AL 36609
251-342-2640

SITE DATA:
CURRENT ZONING: PUD
STREETS: 1,739 L.F.
ROW WIDTH: 50' & 60'
NUMBER OF LOTS: 31
SMALLEST LOT: 11,200 S.F.
LARGEST LOT: 14,638 S.F.
COMMON AREAS: 4.65± AC
WETLANDS: 0.85 AC
TOTAL AREA: 16.40 AC

UTILITIES PROVIDERS:
WATER - CITY OF LOXLEY
SANITARY - BALDWIN COUNTY SEWER SERVICE
ELECTRIC - RIVERIA UTILITIES
COMMUNICATIONS - AT&T

SETBACKS:
LOTS 1-31
FRONT - 25'
REAR - 25'
SIDE - 7'
CORNER LOT, SIDE STREET - 25'

DRAINAGE & UTILITY EASEMENTS:
FRONT - 10'
REAR - 0'
SIDE - 5'

**HADDON LAKES, PHASE 1
PLAT OF SUBDIVISION**

APRIL 26, 2026

WATTIER SURVEYING, INC.
PROFESSIONAL LAND SURVEYORS
4318 DOWNTOWNER LOOP N., SUITE H
MOBILE, ALABAMA 36609 251-342-2640